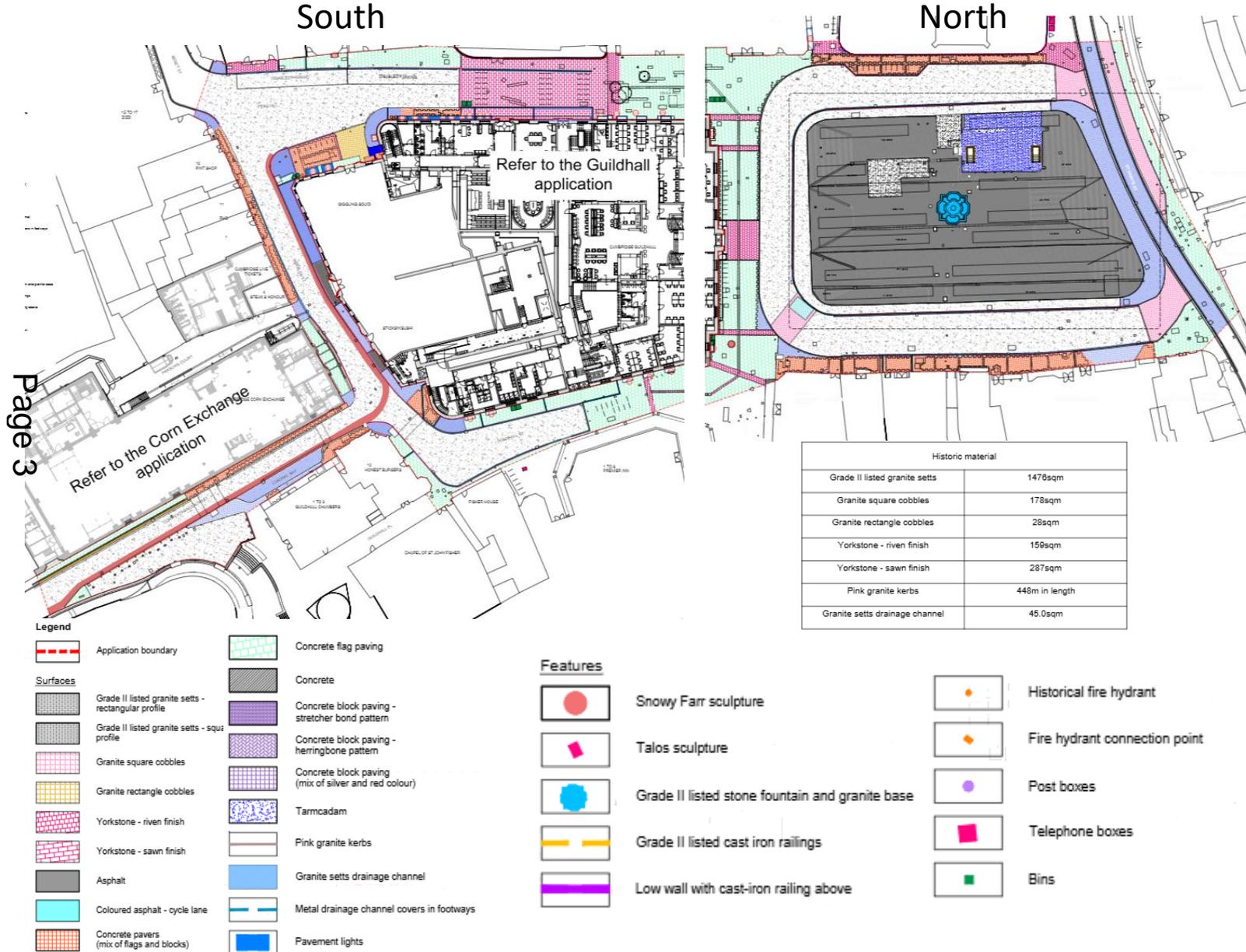


GREATER CAMBRIDGE SHARED PLANNING

*25/04382/FUL & 25/04383/LBC Market Sq,
Market Hill, Peas Hill, Wheeler St, Guildhall St,
Corn Exchange St,
Site Location Plan*



Existing Surfacing



Proposed Hardworks - North

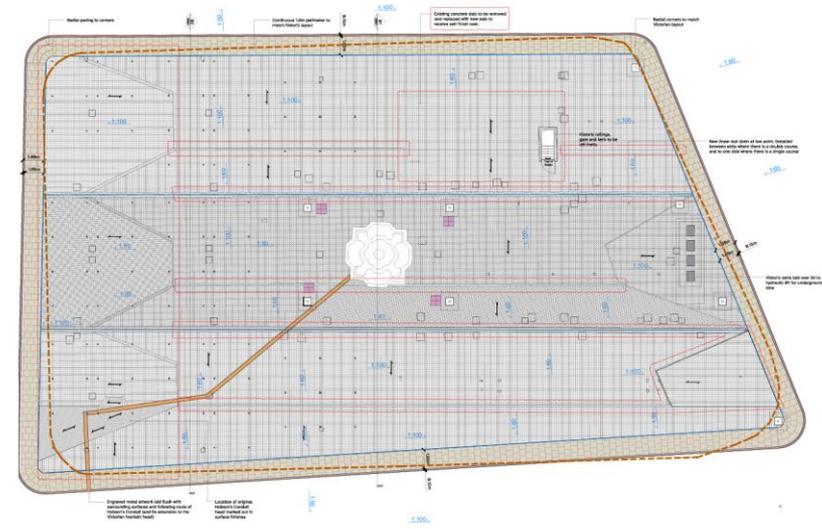
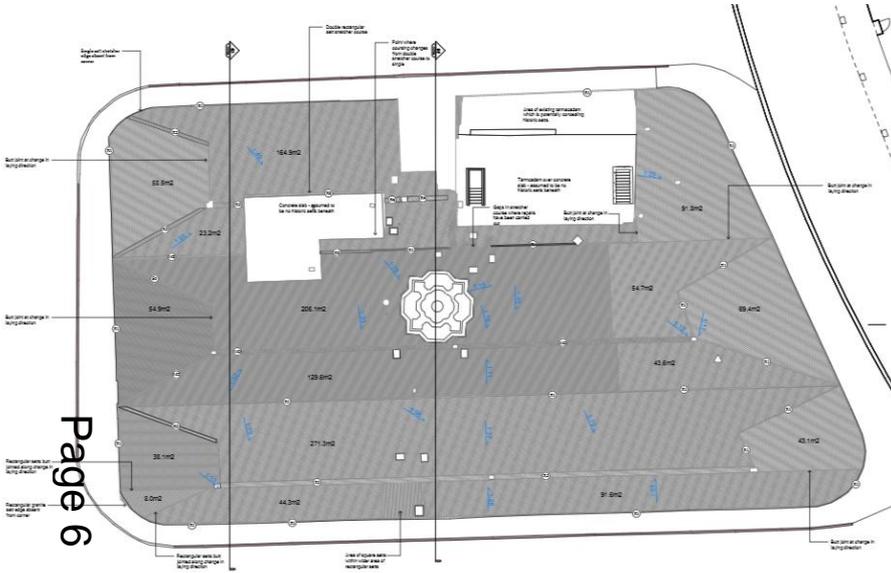
Page 5



Market Square Surfacing

Existing

Proposed



Page 6

Historic material	
Granite square cobbles	423 sqm
Granite rectangle cobbles	1035 sqm
Pink granite kerbs	114m in length

- LEGEND**
- S50: Rectangular granite setts - vary in size, approximately 100mm x 250mm
 - S51: Square granite setts - vary in size, approximately 100mm x 100mm
 - E01: Pink granite kerb - approximately 130mm
 - Granite fountain base
 - (R1) Single rectangular sett stretcher course
 - (R2) Double rectangular sett stretcher course
 - (R3) Triple rectangular sett stretcher course
 - (R4) Quadruple rectangular sett stretcher course
 - (R5) Quintuple rectangular sett stretcher course
 - (S3) Triple square sett stretcher course
 - (M2) Double rectangular and square sett mixed stretcher course
 - (M3) Triple rectangular and square sett mixed stretcher course
 - (M5) Quintuple rectangular and square sett mixed stretcher course
 - Contours at 20mm intervals

Rectangle setts usage on site (Note: The re-use of materials is subject to accessibility requirements and heritage constraints. The final quantity of existing setts to be reused will need to be assessed based on their quality and suitability)

Proposed area of rectangular setts	1273m ²
Existing rectangle setts within Market Square (to be reused)	1035m ²
Existing rectangle setts within the site but outside Market Square (to be reused)	28m ²
Summary	There is a deficit of 210m ² of rectangular setts which will need to be sourced.

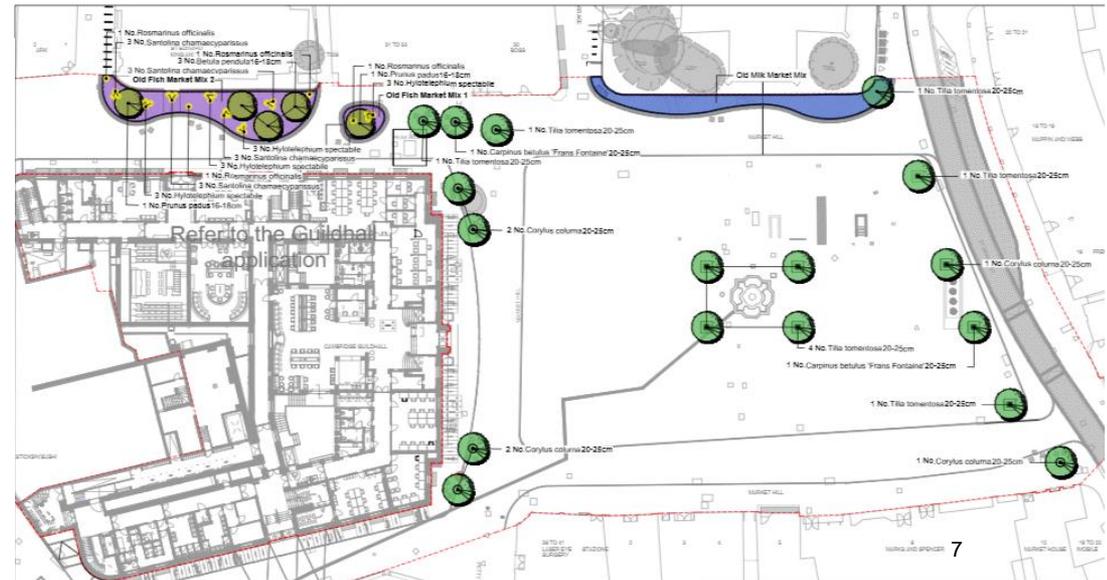
Square setts usage on site (Note: The re-use of materials is subject to accessibility requirements and heritage constraints. The final quantity of existing setts to be reused will need to be assessed based on their quality and suitability)

Proposed area of square setts	633m ²
Existing square setts within Market Square (to be reused)	399m ²
Existing square setts within the site but outside Market Square (to be reused)	204m ²
Summary	There is a deficit of 43m ² of square setts which will need to be sourced.

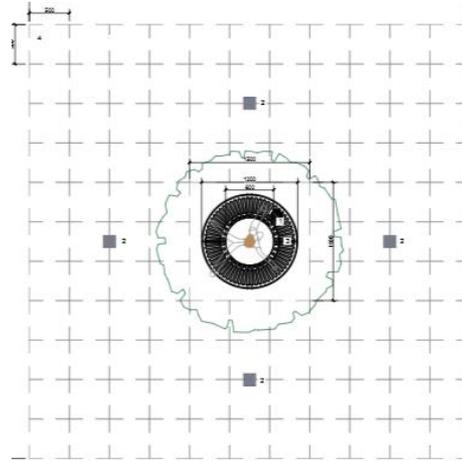
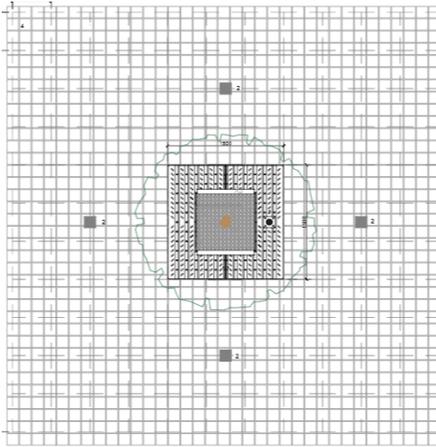
- Adopted highways boundary (data provided by CCC)
- S04A Retaid square setts including existing from the market square and wider civic quarter mixed in with new
- S04B Retaid rectangular setts including existing from the market square and wider civic quarter mixed in with new
- S08 New York stone paving to perimeter
- Proposed slot drain
- Reclaimed pink granite kerb laid flush with surrounding surfacing
- E01 Feature Metal Strip Demarcating Hobson's Conduit
- Tree Grille
- Anchors for temporary market stalls
- Inspection cover (size varies) Indicative locations and sizes. Refer to principles document
- Indicative gradients
- Steps direction (up)
- Laying direction

Landscaping / Planting Proposals

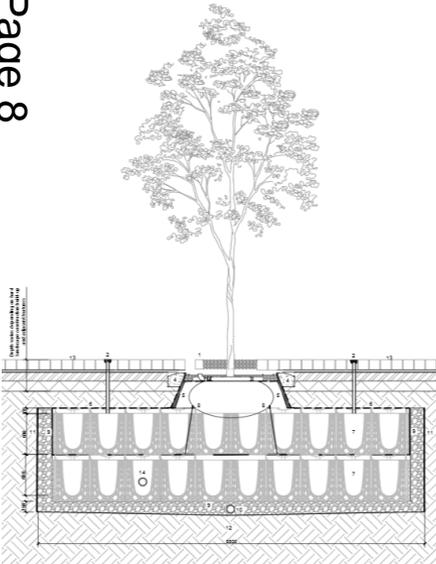
Landscaping Master Plan



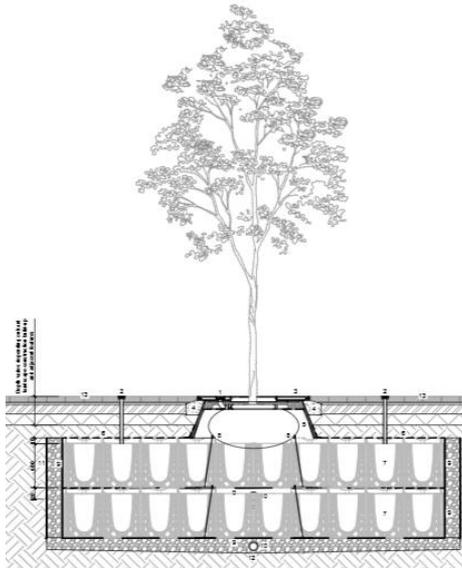
Tree Pit Details



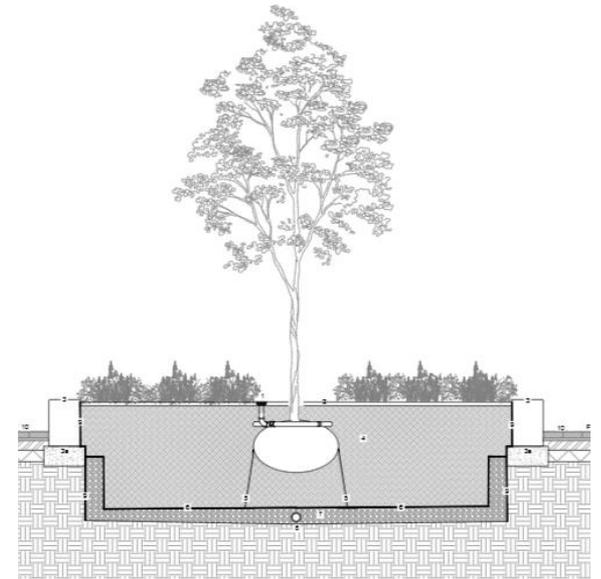
Page 8



Historic Setts

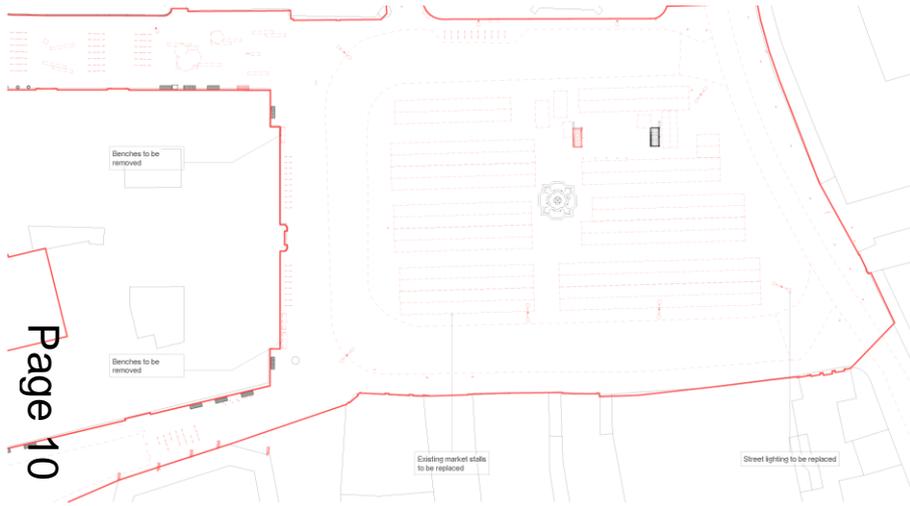


Street Trees

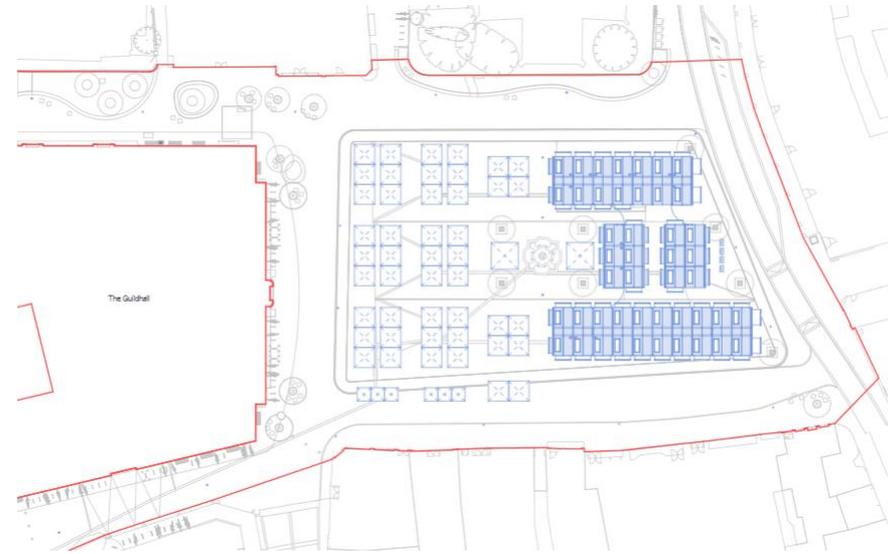


Planter Trees

Market Sq - Roof Plan



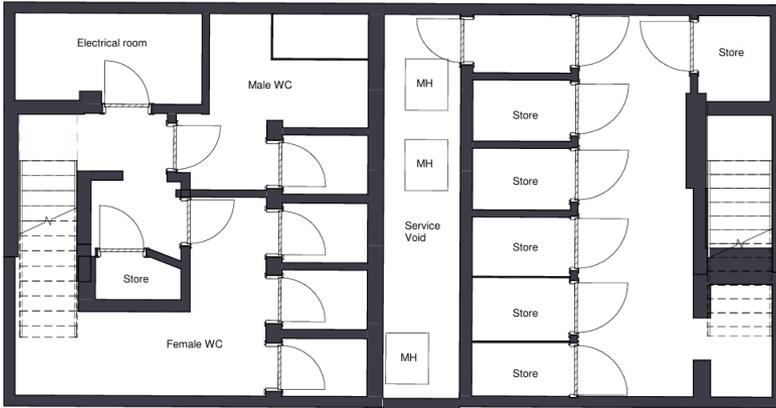
Existing with demolition



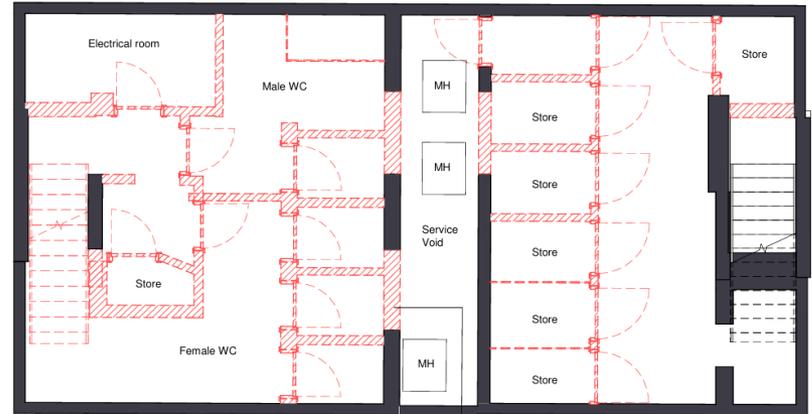
Proposed

- Key:
- Site boundary
 - Security Gate
 - Existing
 - Proposed

Market Square - Basement



Existing



Existing with demolition

Page 11

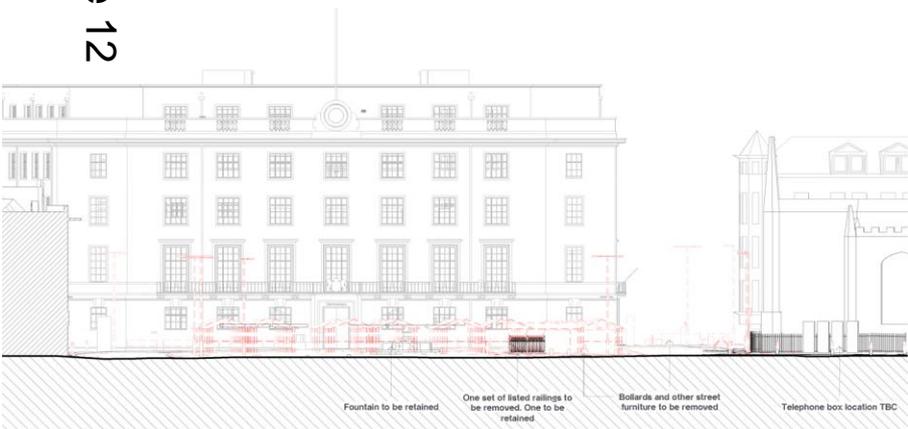


Proposed

Key:

-  Existing
-  Proposed demolition
-  Proposed

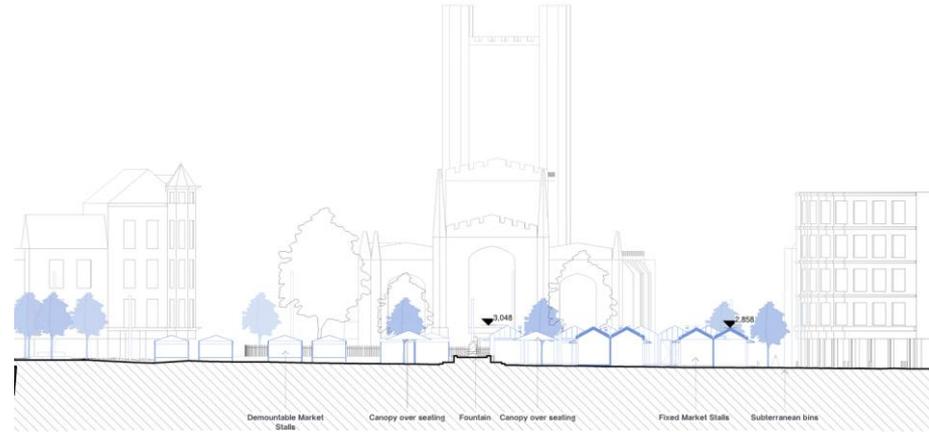
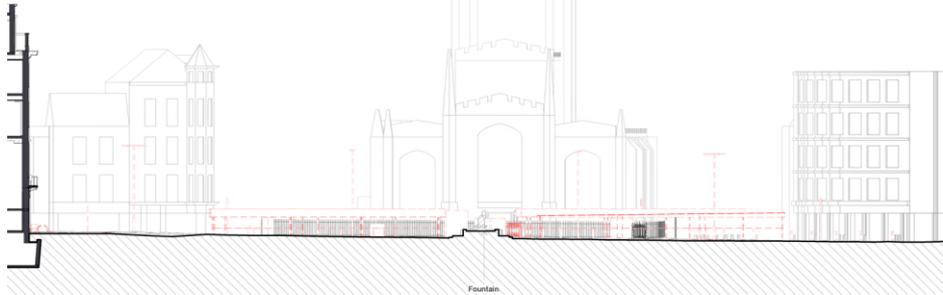
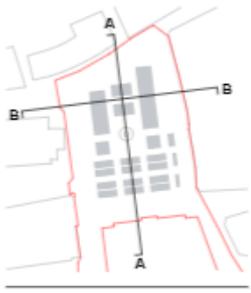
Market Sq - Elevations



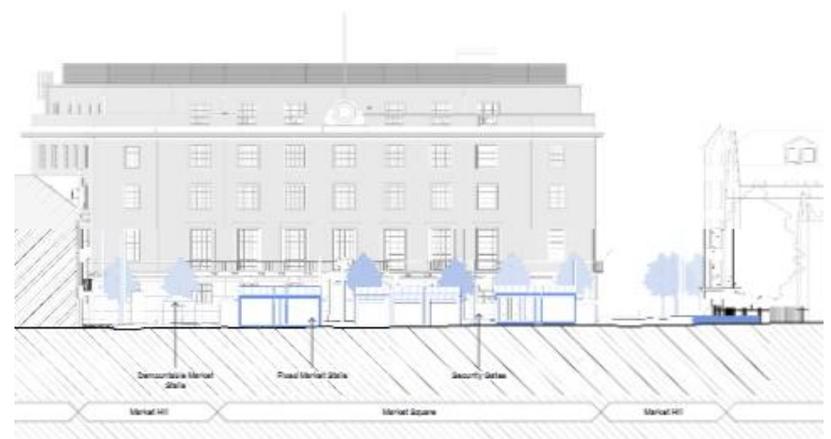
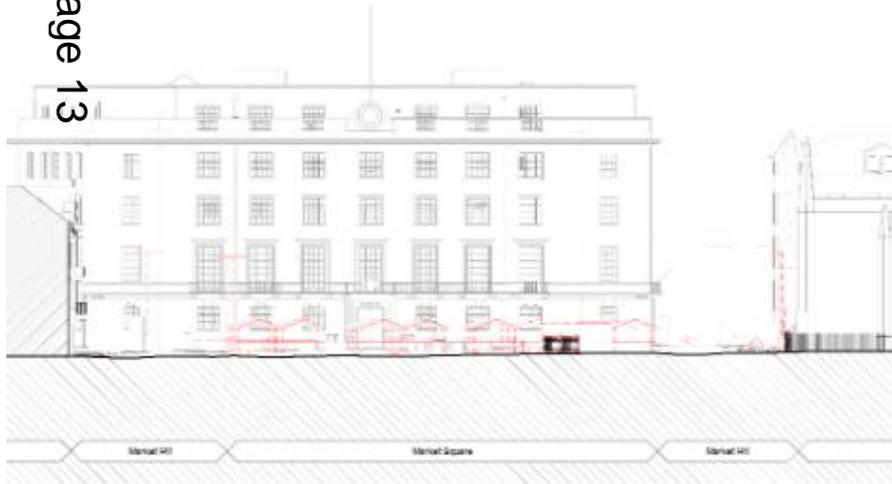
Existing with demolition

Proposed

Market Sq – Sections



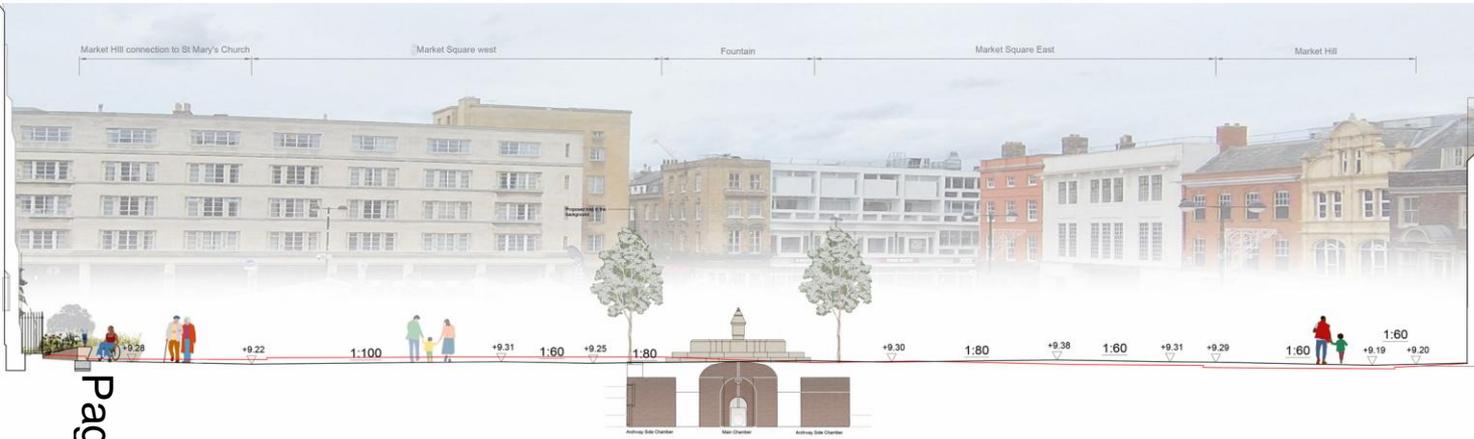
Page 13



Existing with demolition

Proposed

Market Sq - Proposed Levels



Page 14



Illustrative Masterplan Markets

Full Market

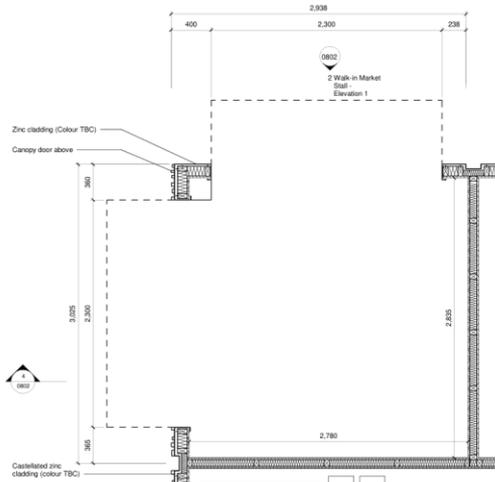


Page 15

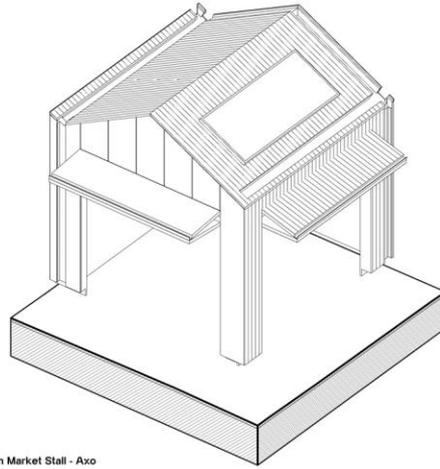
Partial Market



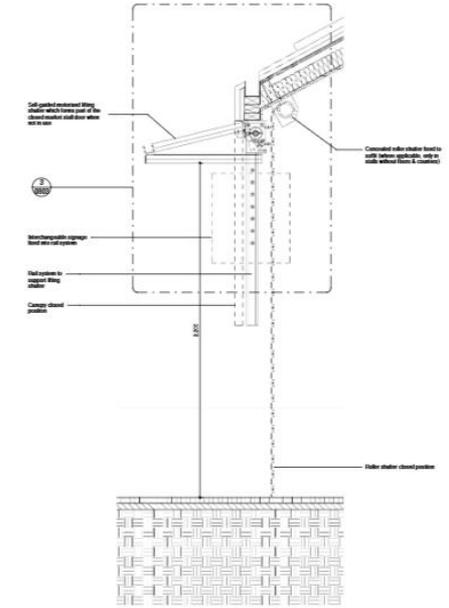
Typical Market Stall - Walk-in



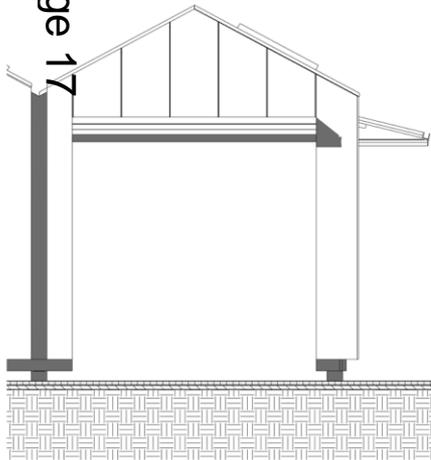
Walk-in Market Stall - Plan
1:20



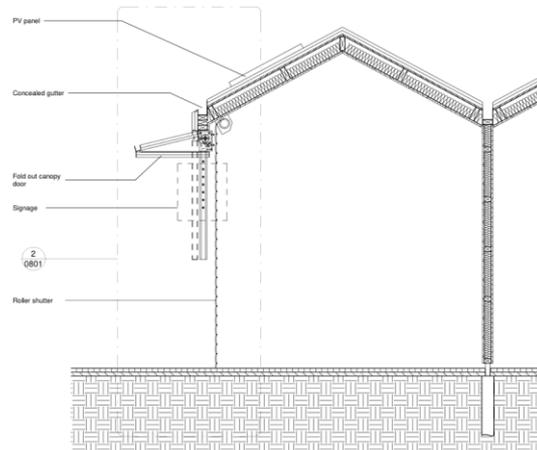
3 Walk-in Market Stall - Axo



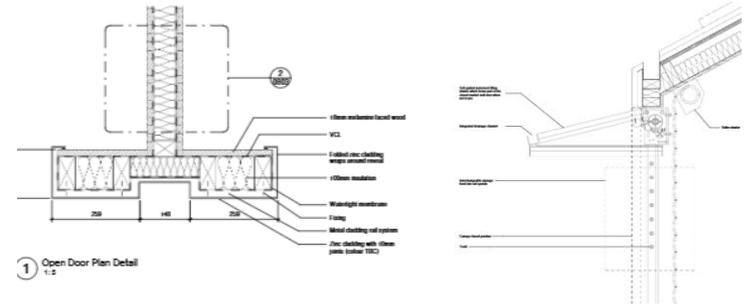
2 Market Stall Bay Section - Walk-in Stall
1:10



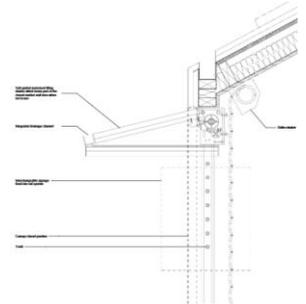
1 Walk-in Market Stall - Elevation



4 Walk-in Market Stall - Section

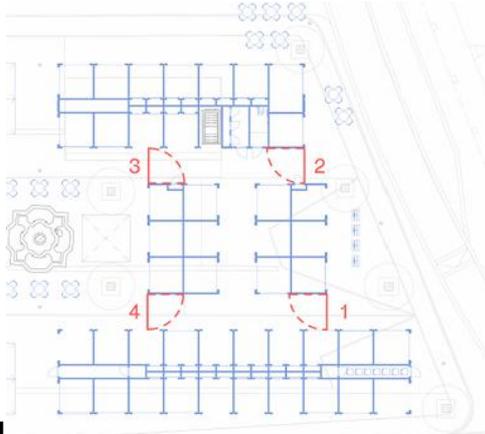


1 Open Door Plan Detail
1:5



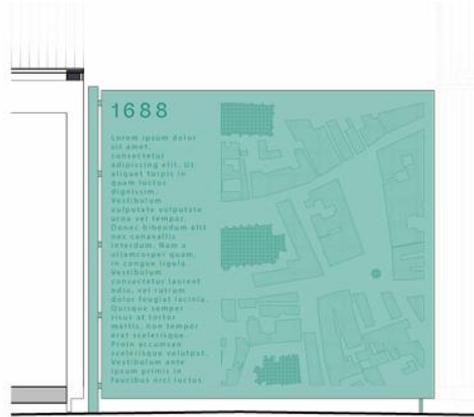
3 Canopy Door Overhead Detail
1:5

Security Gates

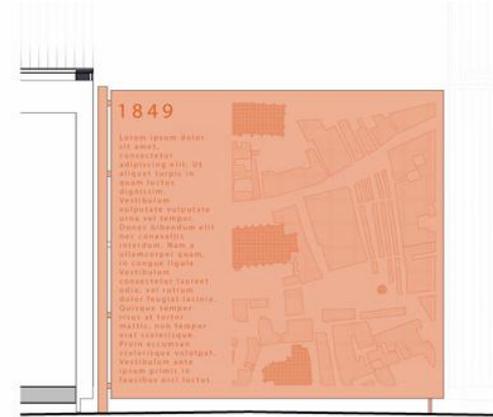


Key Plan
1:200

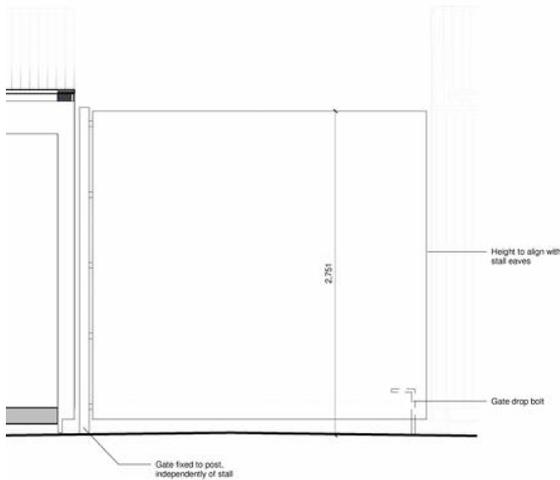
Page 18



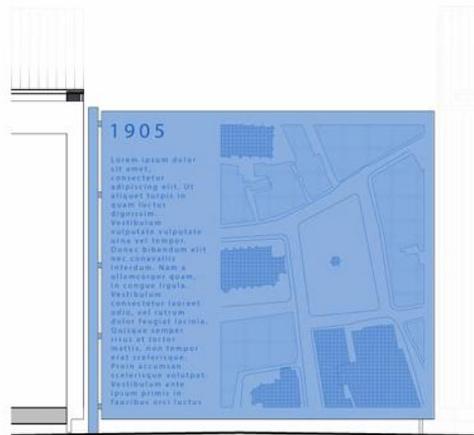
2 Security Gate 1 - Colour Study
1:20



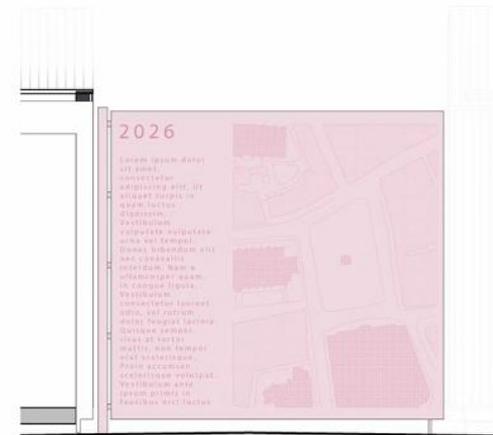
3 Security Gate 2 - Colour Study
1:20



Security Gate Elevation
1:20

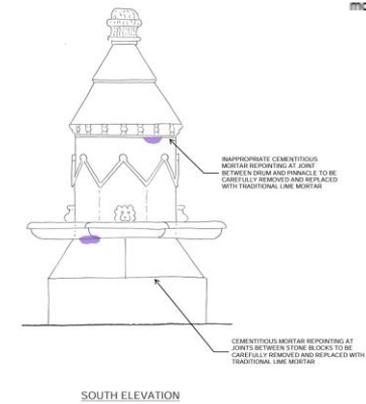
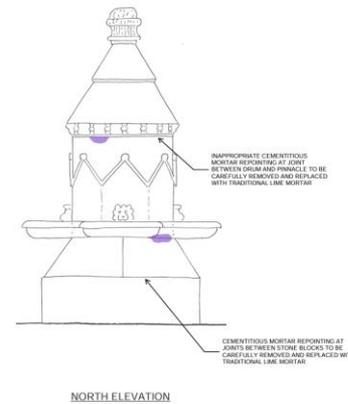
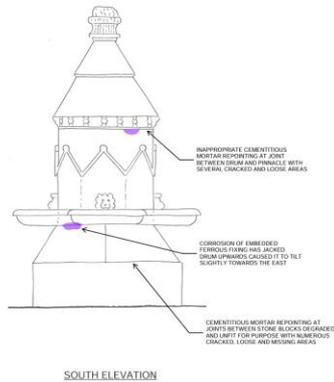
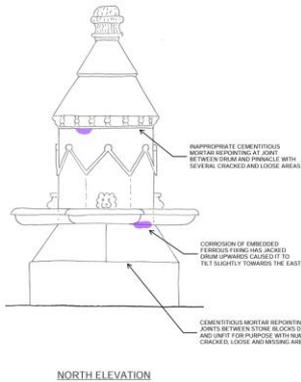
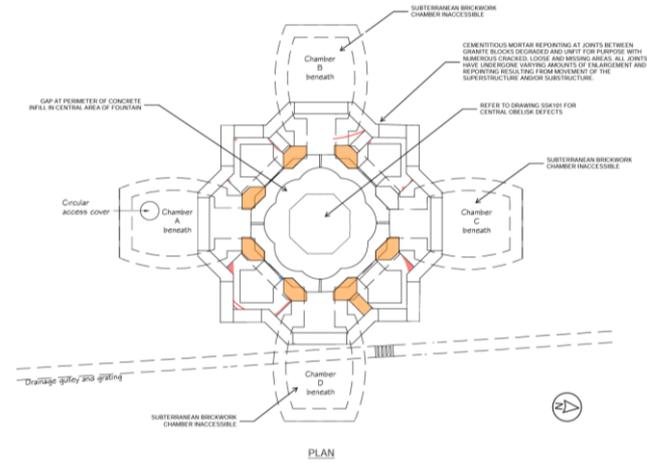
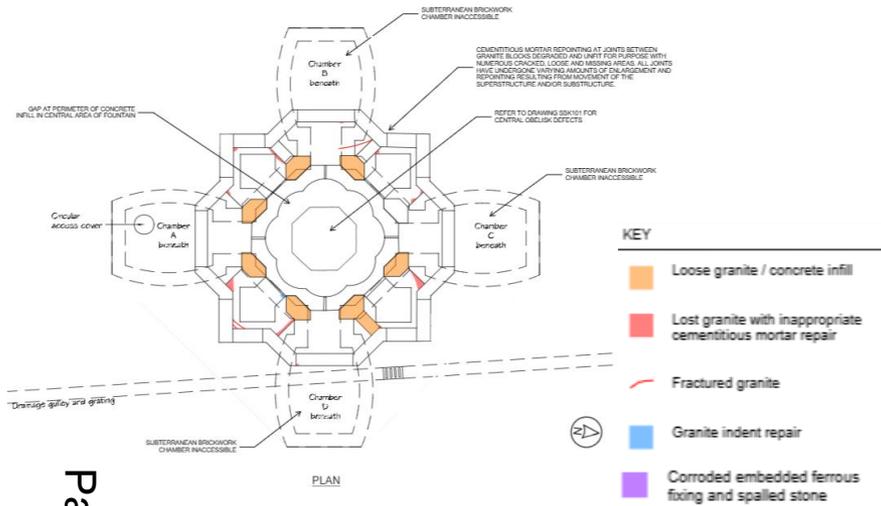


5 Security Gate 3 - Colour Study
1:20



6 Security Gate 4 - Colour Study
1:20

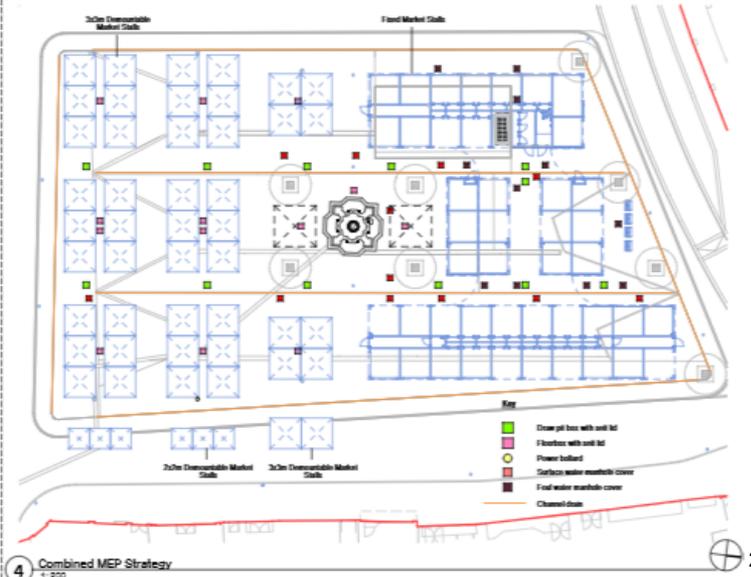
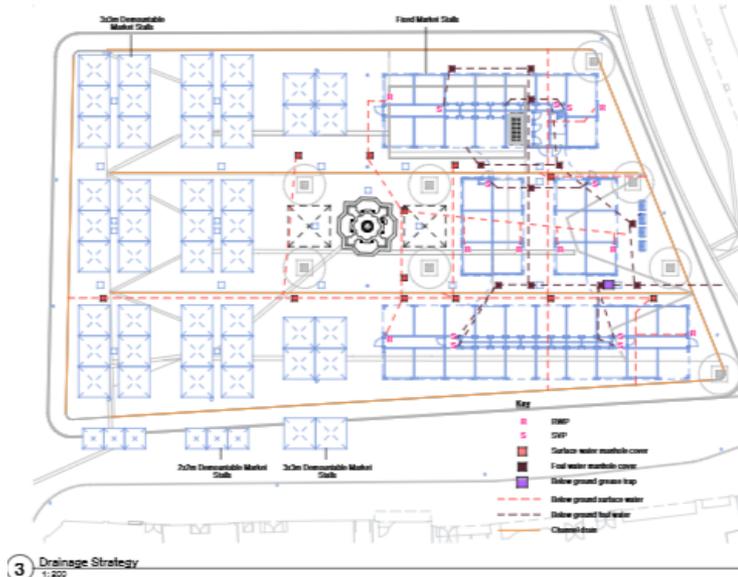
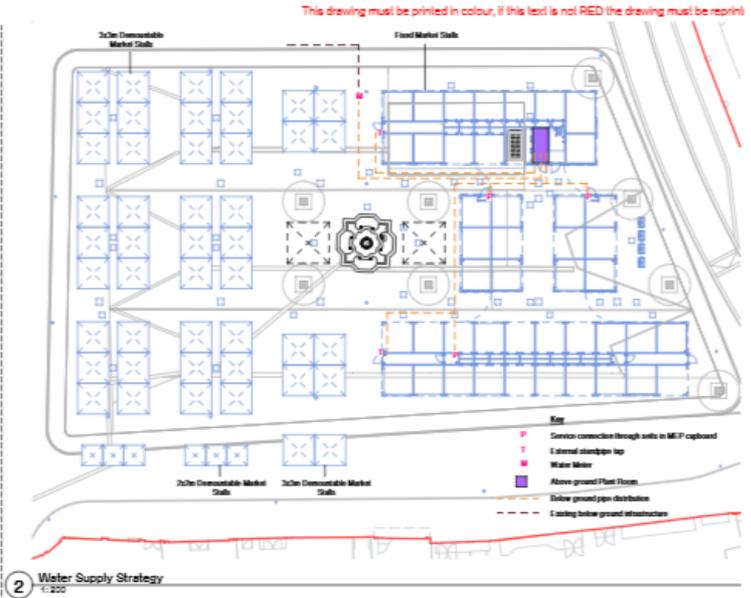
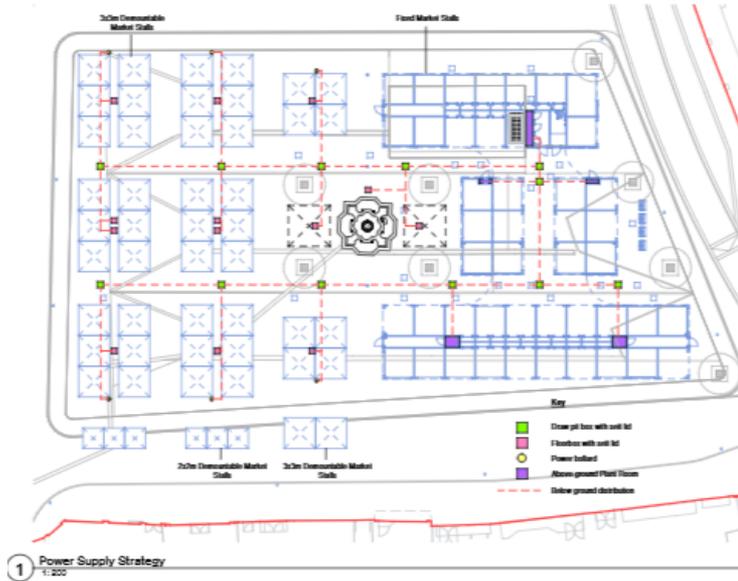
Fountain



Observed Defects

Proposed Repairs

Proposed Services



25/04382/FUL: Planning Balance

Approval

Material considerations

- Significant improvement to the accessibility of the space;
- Reduction of visual clutter within area;
- Removal of concrete slabs on listed surface;
- Creation of a more flexible space
- Additional greenery with limited biodiversity net gain
- Increased surveillance and seating



Refusal

Material considerations

- High level of 'less than substantial harm' directly to listed setts;
- Moderate level of 'less than substantial harm' to Conservation Area and setting of listed setts/railings/fountain
- Low level of 'less than substantial harm' to setting of nearby listed buildings;
- Low additional risk to highway safety
- Loss of cycle spaces within red line

Officer Recommendation: On balance **approval** subject to conditions

25/04383/LBC: Planning Balance

Approval

Material considerations

- Significant improvement to the accessibility of the space;
- Removal of concrete slabs on listed surface;
- Creation of a more flexible space



Refusal

Material considerations

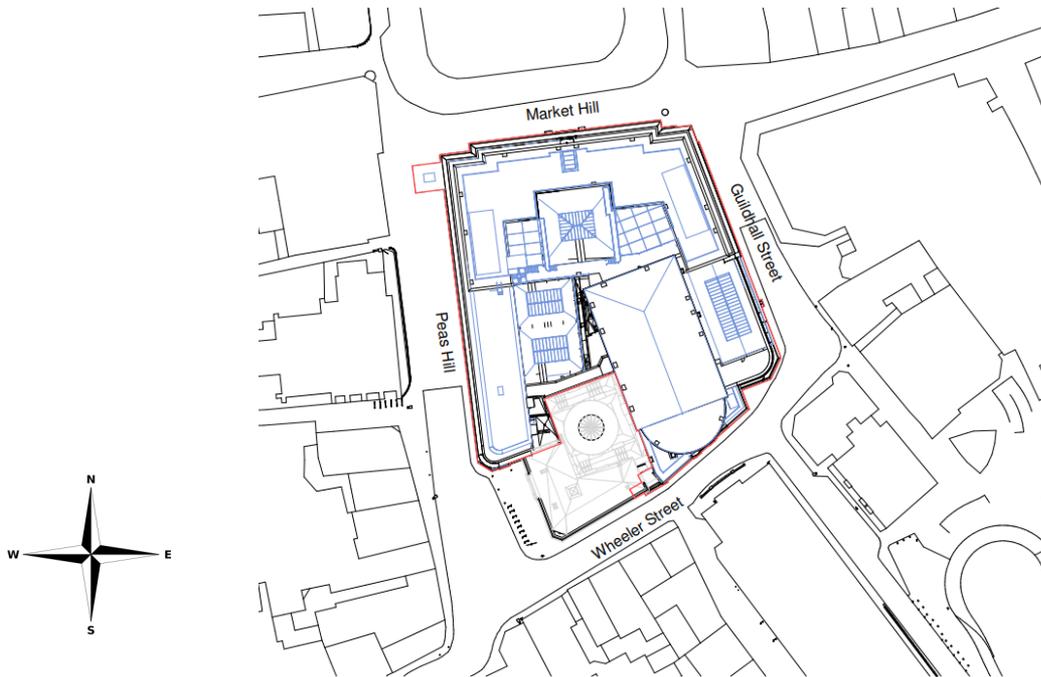
- High level of 'less than substantial harm' directly to listed setts;
- Low level of 'less than substantial harm' to the listed railings

Page 22

Officer Recommendation: On balance **approval** subject to conditions

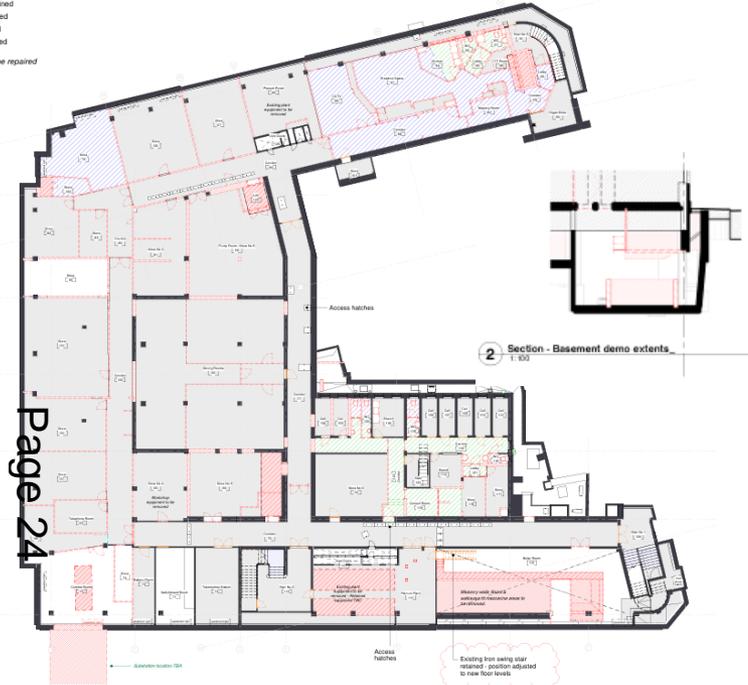
25/04384/FUL & 25/04385/LBC *The Guildhall* *And Large Hall, Market Hill, Cambridge* Site Location Plan

Page 23

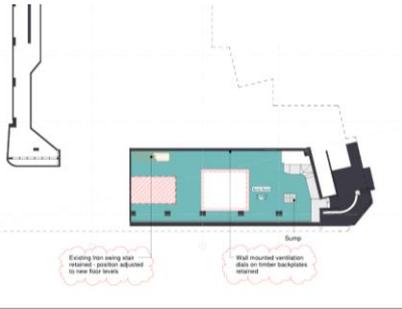


Basement Floor Plans

may
or slab
need
to
be repaired



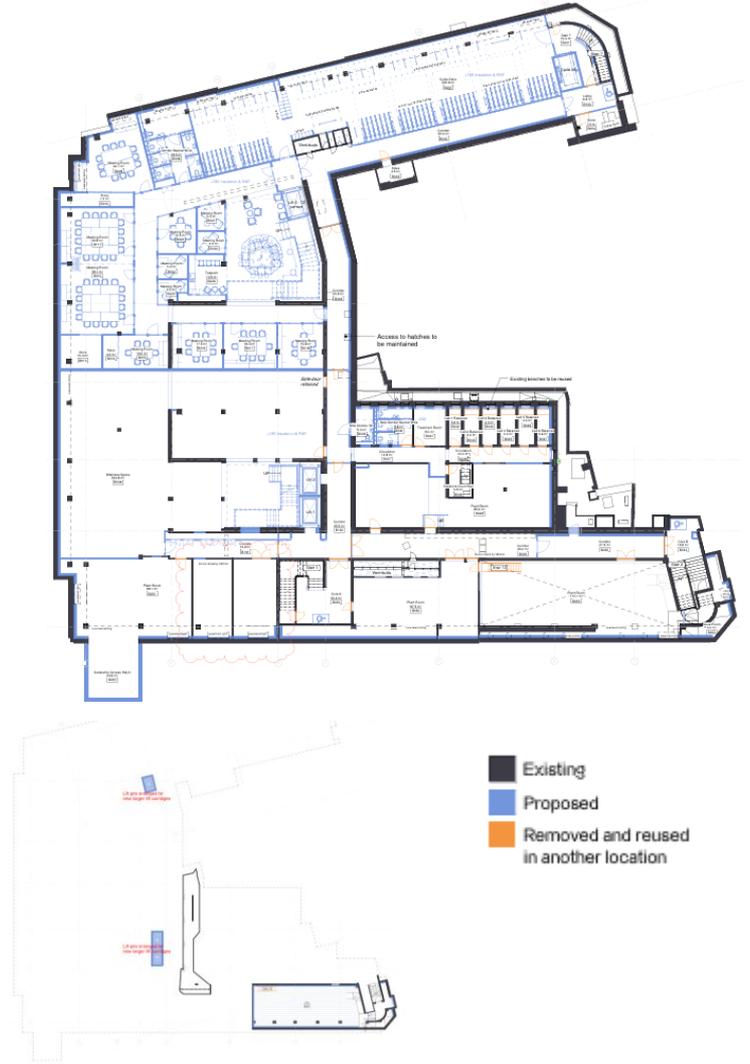
Page 24



- PEAS HILL
- Key:**
- Existing
 - Proposed demolition
 - Proposed demolition/ alteration to floor slab
 - Proposed removal of existing carpet
 - Proposed removal of existing vinyl
 - Proposed removal of existing terrazzo
 - Proposed removal of existing rubber
 - Proposed removal and reuse of existing stone pavers
 - Existing building element forming part of the historic fabric to be carefully removed and salvaged for reuse elsewhere or storage for future reuse
 - Bison pre-cast concrete planks (assumed 280x150mm) removed for thermal and AT upgrades, then re-installed

Existing

XX Room titles XX refers to those from the 1935 existing plans

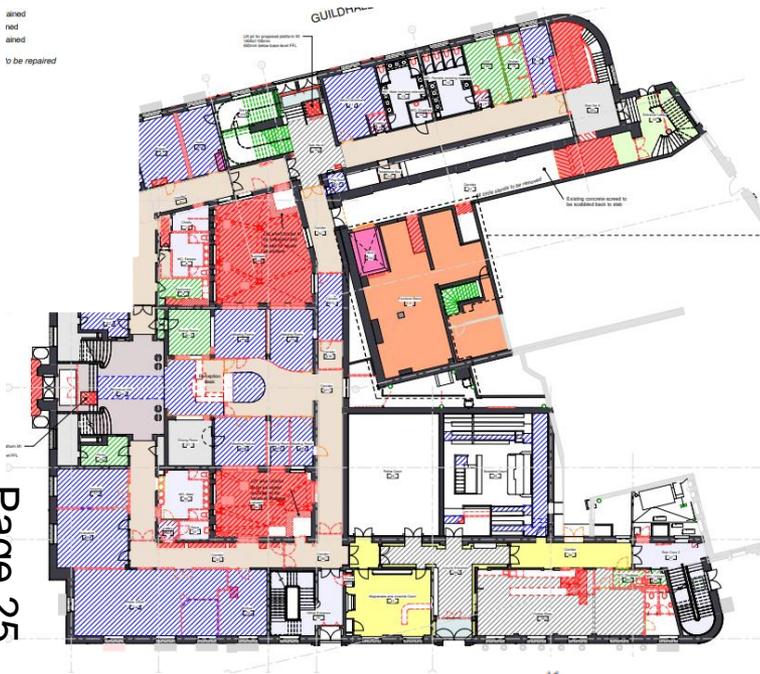


Proposed

Ground Floor Plans

aimed
red
aimed
to be repaired

Page 25

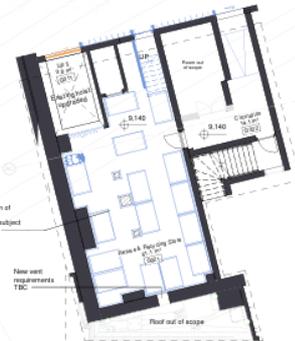
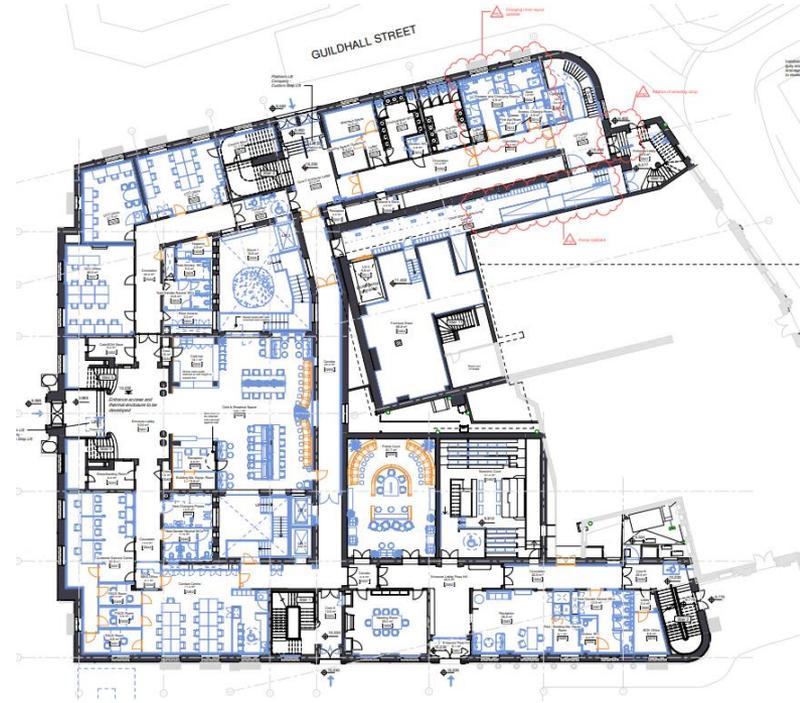


Existing

Key:

- Existing
- Proposed demolition
- Proposed demolition/ alteration to floor slab
- Proposed removal of existing carpet
- Proposed removal of existing vinyl
- Proposed removal of existing terrazzo
- Proposed removal of existing rubber
- Proposed removal and reuse of existing stone pavers
- Existing building element forming part of the historic fabric to be carefully removed and salvaged for reuse elsewhere or storage for future reuse
- Elson pre-cast concrete planks (assumed 280x150mm) removed for thermal and AT upgrades, then re-installed

XX Room titles XX refers to those from the 1935 existing plans
YYY



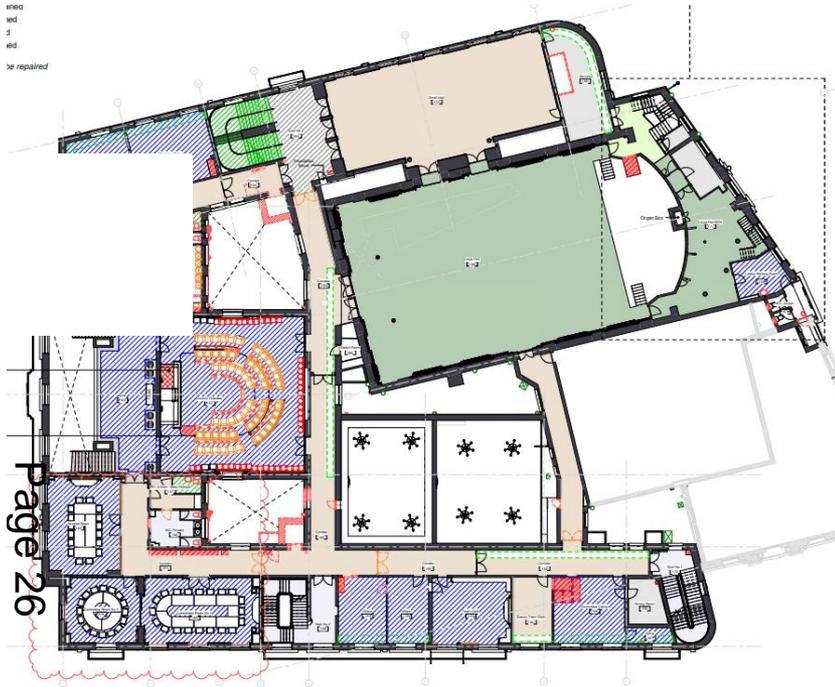
Lower Ground Floor GA Plan
1:100

Proposed

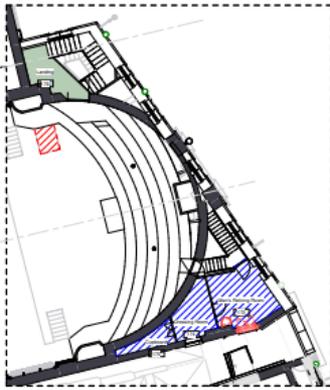
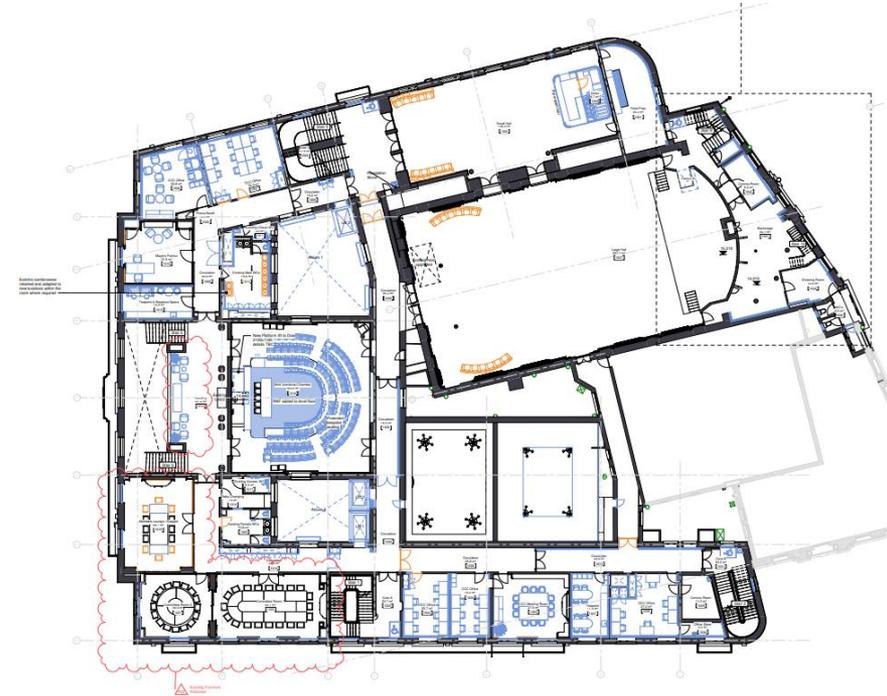
- Existing
- Proposed
- Removed and reused in another location

First Floor Plans

since
ed
ed
be repaired



Page 26



Upper Back Stage_

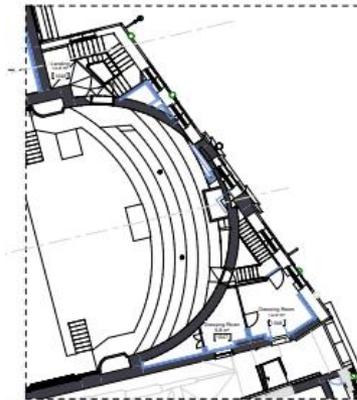
1:100

Existing

Key

- Existing
- Proposed demolition
- Proposed demolition/ alteration to floor slab
- Proposed removal of existing carpet
- Proposed removal of existing vinyl
- Proposed removal of existing terrazzo
- Proposed removal of existing rubber
- Proposed removal and reuse of existing stone pavers
- Existing building element forming part of the historic fabric to be carefully removed and salvaged for reuse elsewhere or storage for future reuse
- Bison pre-cast concrete planks (assumed 280x150mm) removed for thermal and AT upgrades, then re-installed

XX Room titles XX refers to those from the 1935 existing plans
YYY



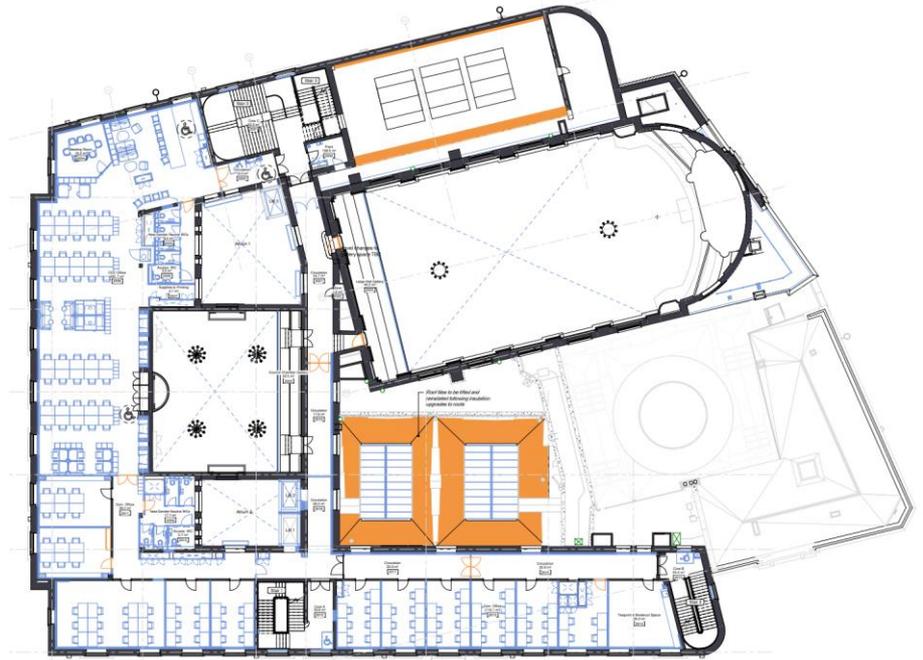
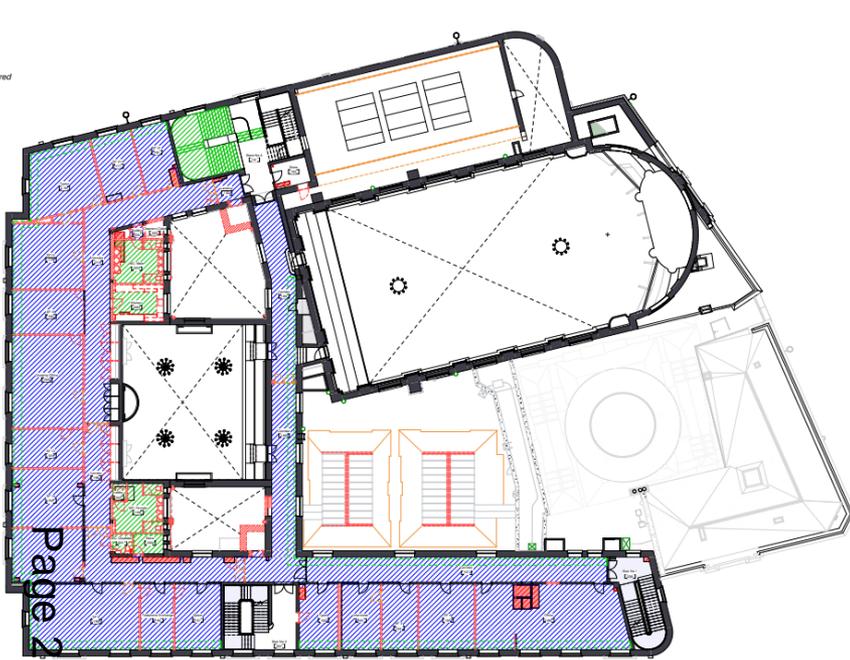
Upper back stage_

1:100

Proposed

- Existing
- Proposed
- Removed and reused in another location

Second Floor Plans



Page 27

Key

- Existing
- Proposed demolition
- Proposed demolition/ alteration to floor slab
- Proposed removal of existing carpet
- Proposed removal of existing vinyl
- Proposed removal of existing terrazzo
- Proposed removal of existing rubber
- Proposed removal and reuse of existing stone pavers
- Existing building element forming part of the historic fabric to be carefully removed and salvaged for reuse elsewhere or storage for future reuse
- Bison pre-cast concrete planks (assumed 280x150mm) removed for thermal and AT upgrades, then re-installed

- Existing
- Proposed
- Removed and reused in another location

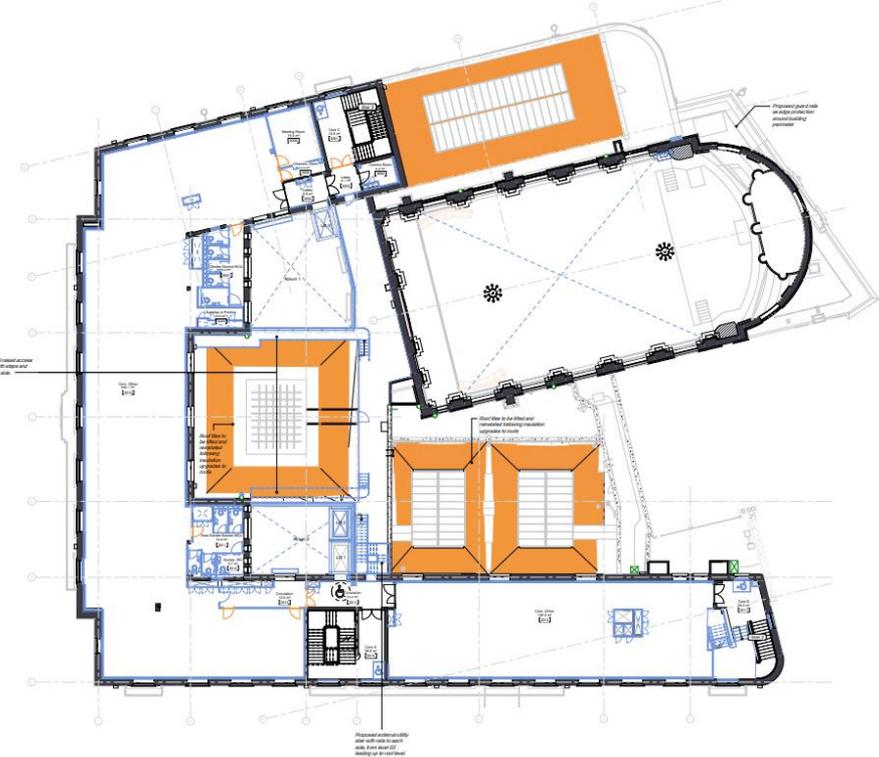
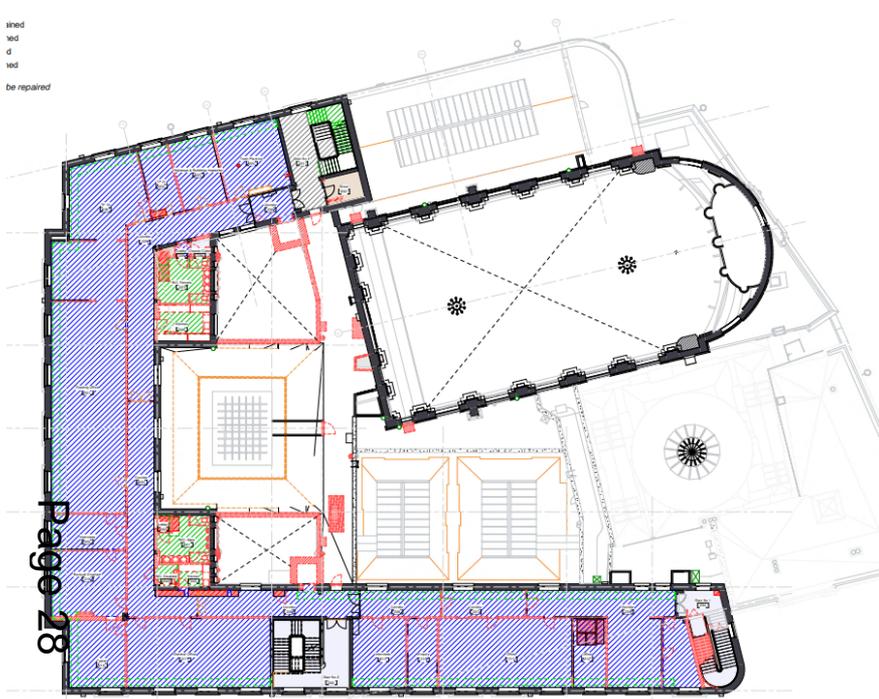
Existing

Proposed

XX Room titles XX refers to those from the 1935 existing plans

Third Floor Plans

lined
void
d
void
be repaired



- Key:**
- Existing
 - Proposed demolition
 - Proposed demolition/ alteration to floor slab
 - Proposed removal of existing carpet
 - Proposed removal of existing vinyl
 - Proposed removal of existing terrazzo
 - Proposed removal of existing rubber
 - Proposed removal and reuse of existing stone pavers
 - Existing building element forming part of the historic fabric to be carefully removed and salvaged for reuse elsewhere or storage for future reuse
 - Elcon pre-cast concrete planks (assumed 280x150mm) removed for thermal and AT upgrades, then re-installed

- Existing
- Proposed
- Removed and reused in another location

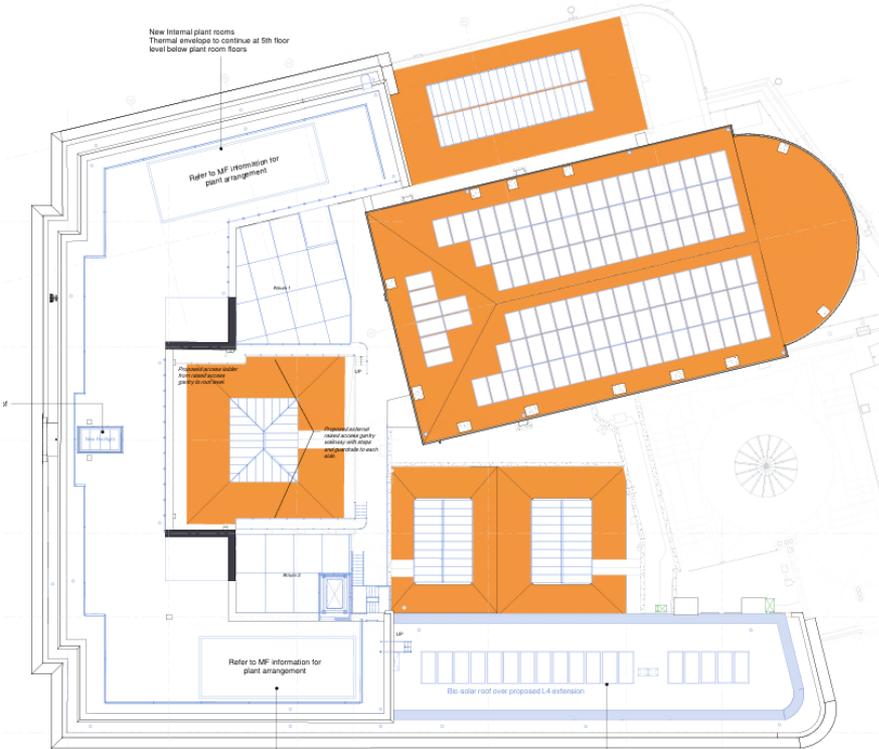
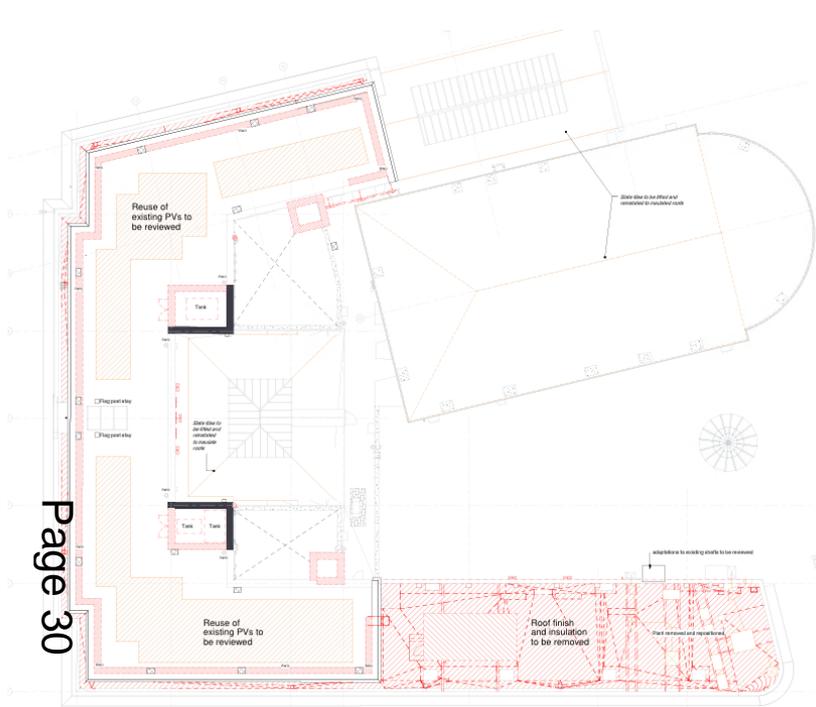
Existing

Proposed

XX Room titles XX refers to those from the 1935 existing plans
YYY

Roof Plans

Page 30



- Key:**
- Existing
 - Proposed demolition
 - Proposed demolition/ alteration to floor slab
 - Proposed removal of existing carpet
 - Proposed removal of existing vinyl
 - Proposed removal of existing terrazzo
 - Proposed removal of existing rubber
 - Proposed removal and reuse of existing stone pavers
 - Existing building element forming part of the historic fabric to be carefully removed and salvaged for reuse elsewhere or storage for future reuse
 - Bison pre-cast concrete planks (assumed 280x150mm) removed for thermal and AT upgrades, then re-installed

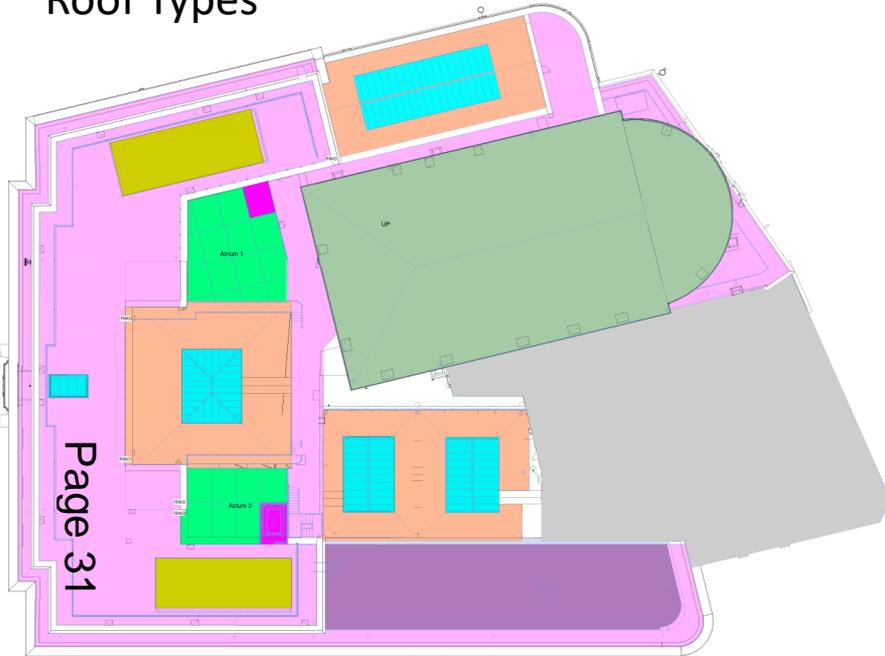
- Existing
- Proposed
- Removed and reused in another location

Existing

Proposed

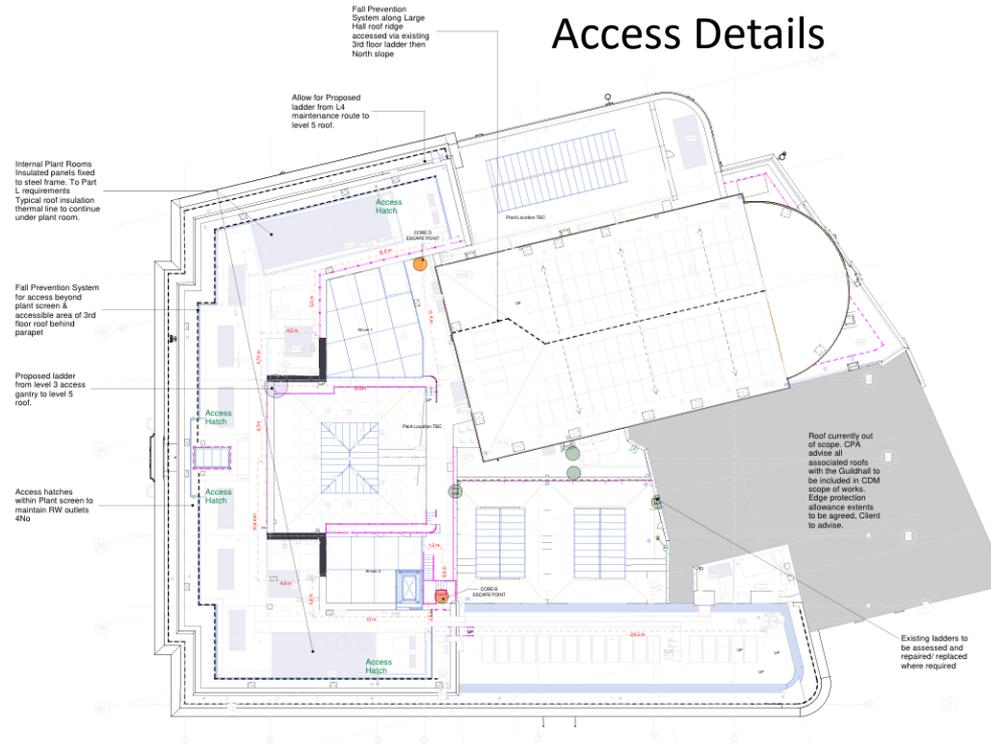
Roof Details

Roof Types



Page 31

Access Details



Roof Type Key

- Existing
- Proposed
- Existing roof slates carefully removed and salvaged for reuse or repair
- Area on drawing out of Scope

Proposed Roof Type Key

Warm Roofs

- Roof Type 1: Bio-Solar Warm Roof System U-value <math><0.15 \text{ W/m}^2\text{K}</math>
- Roof Type 3: Insulated panel system U-value <math><0.15 \text{ W/m}^2\text{K}</math> (TBC)

Inverted Roofs

- Roof Type 2: Flat Roof System U-value <math><0.15 \text{ W/m}^2\text{K}</math>

Pitched Roofs

- Roof Type 4: Pitched Slate Roof - Insulation in rafter zone with Fragile Heritage Ceiling below U-value <math><0.15 \text{ W/m}^2\text{K}</math>
- Roof Type 5: Pitched Slate Roof & photovoltaic panels - Insulation in ceiling zone with Fragile Heritage Ceiling Below. U-value <math><0.15 \text{ W/m}^2\text{K}</math>

Roof Lights

- Roof Type 6: Glass Roof lights U-value <math><0.85 \text{ W/m}^2\text{K}</math> (installed)

Atrium Roofs

- Roof Type 7: Glass Roof U-value <math><1.1 \text{ W/m}^2\text{K}</math> (installed)

Lift Roofs

- Roof Type 8: Aluminium Roof TBC

- Existing
- Proposed
- Removed and reused in another location

The roof is provided with 2 means of escape routes; Via proposed ladder onto gantry and into protected lobby, Core B

Via Utility stair leading to roof level 3 and into protected lobby in Core D.

Escape Routes (horizontal distances measured)

Proposed Ladder

Escape point

Existing ladders to be assessed for retention/ removal

Proposed Edge Protection - Balustrade

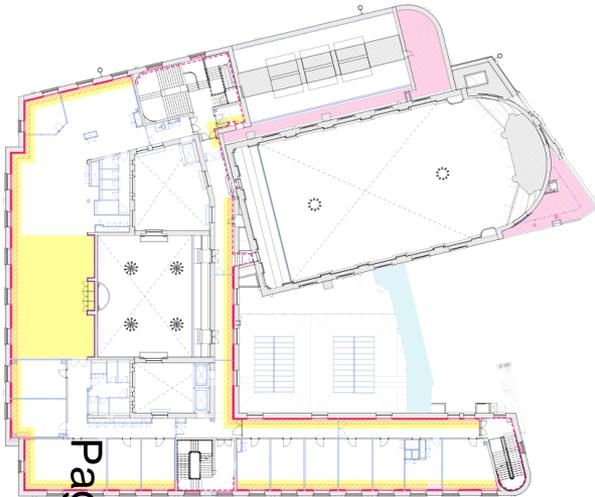
Proposed Edge Protection - Fall Prevention System

The building will be defined as office with the following limits to travel distance on the roof in accordance with Table 2 of Approved Document B, 2010, pg34.

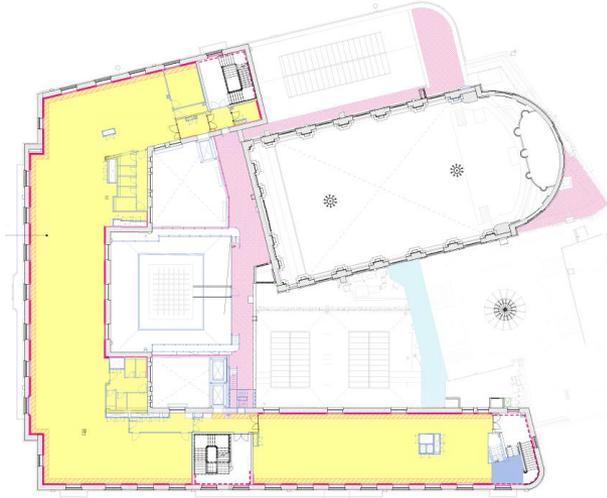
Maximum travel distance in one direction: 60m
Maximum travel distance in more than one direction: 100m

Existing ladders to be assessed and repaired/ replaced where required

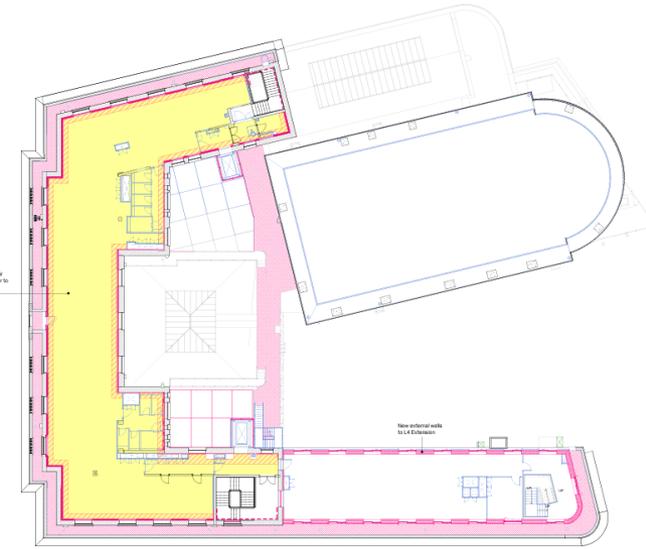
Thermal Plans



Second



Third



Fourth

Page 33

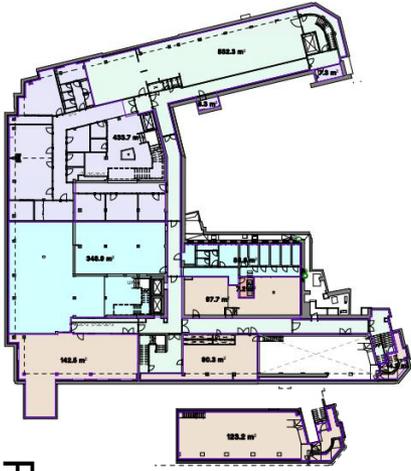
Key

- Thermal Lining
- Thermal Lining - without service void
- Thermal Lining - without service void or lining
- Woodfibre insulation and sheet AT membrane (proposed behind existing wall panels in Heritage spaces. Exclusions TBC)
- Aerogel and sheet AT membrane

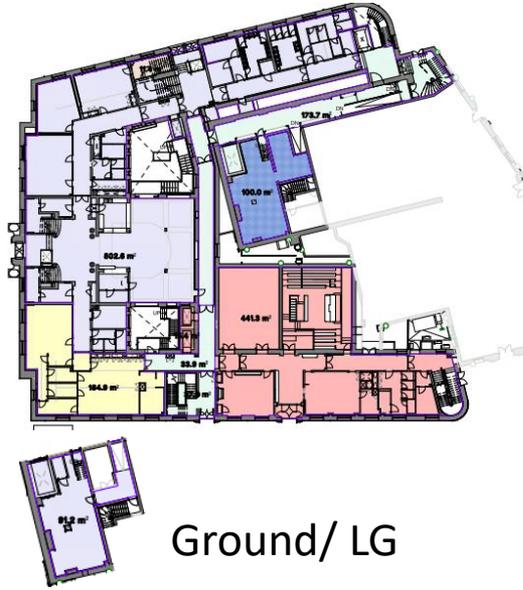
- Doors, windows and new walls that form part of the thermal / air tightness envelope
- Floor slab insulation lining
- Floor slab insulation (underside and upperside of concrete ceiling) Access typically from above (localised floor plank removal)
- External slab insulation
- Liquid applied air tightness treatment to slab soffit

- Air Tightness Line (where separate from thermal line)
- Liquid applied air tightness barrier for air tightness testing
- Temporary boarding for the air tightness testing (e.g. OSB / ply)
- Areas that are outside of the thermal envelope

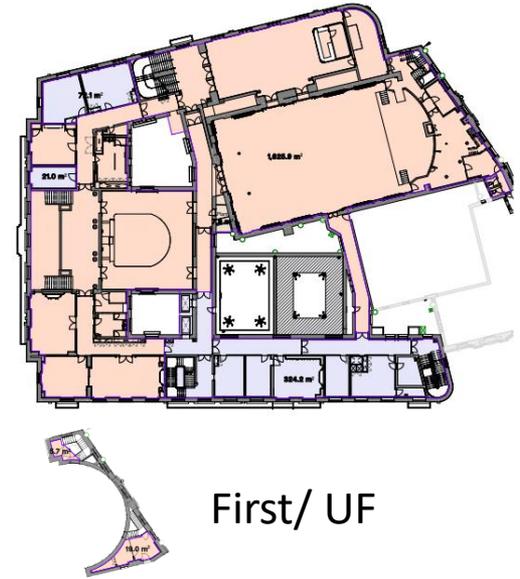
Floor Plans GIA



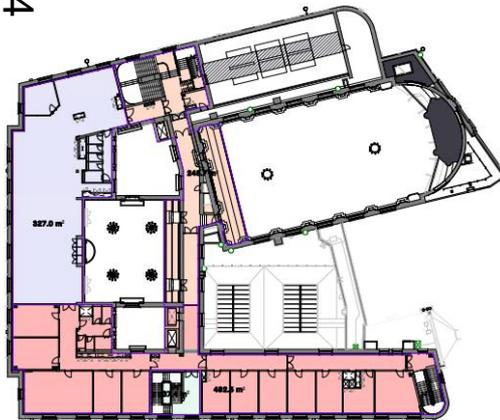
Basement 1&2



Ground/ LG



First/ UF



Second



Third



Fourth

Area Type Key

- CCC Office
- Commercial Office
- Wellness Space
- CSC
- Democratic
- Shared Used - CCC & Commercial
- Plant

Market Hill (Front) Elevations

Existing & Demolition Elevation

Key:

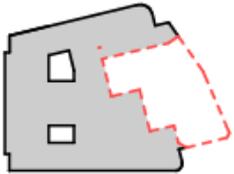
Existing

Proposed demolition

Proposed demolition/
alteration to floor slab

Existing building element forming
part of the historic fabric to be
carefully removed and salvaged for
reuse or storage for future reuse

Page 35



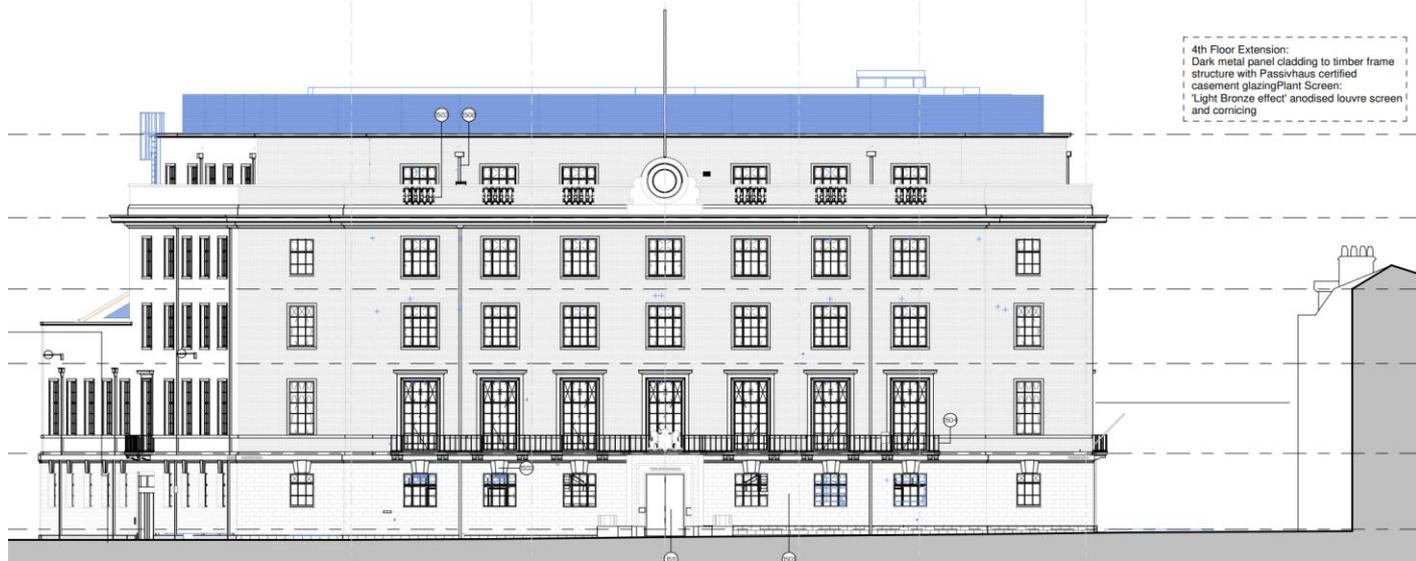
PEAS HILL

Proposed Elevation

Existing

Proposed

Removed and reused
in another location



Peas Hill (Side) Elevations

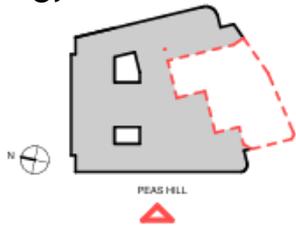
Existing & Demolition Elevation

Key:

- Existing
- Proposed demolition
- Proposed demolition/
alteration to floor slab

Existing building element forming part of the historic fabric to be carefully removed and salvaged for reuse or storage for future reuse

Page 36



Proposed Elevation

- Existing
- Proposed
- Removed and reused in another location



Guildhall Street (Side) Elevations

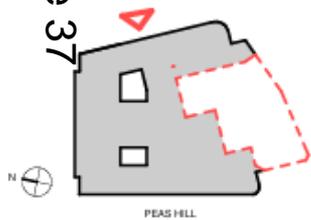
Existing & Demolition Elevation

Key:

- Existing
- Proposed demolition
- Proposed demolition/
alteration to floor slab
- Existing building element forming
part of the historic fabric to be
carefully removed and salvaged for
reuse or storage for future reuse



Page 37



Proposed Elevation

- Existing
- Proposed
- Removed and reused
in another location



Honest Burger

Wheeler St

Guildhall St

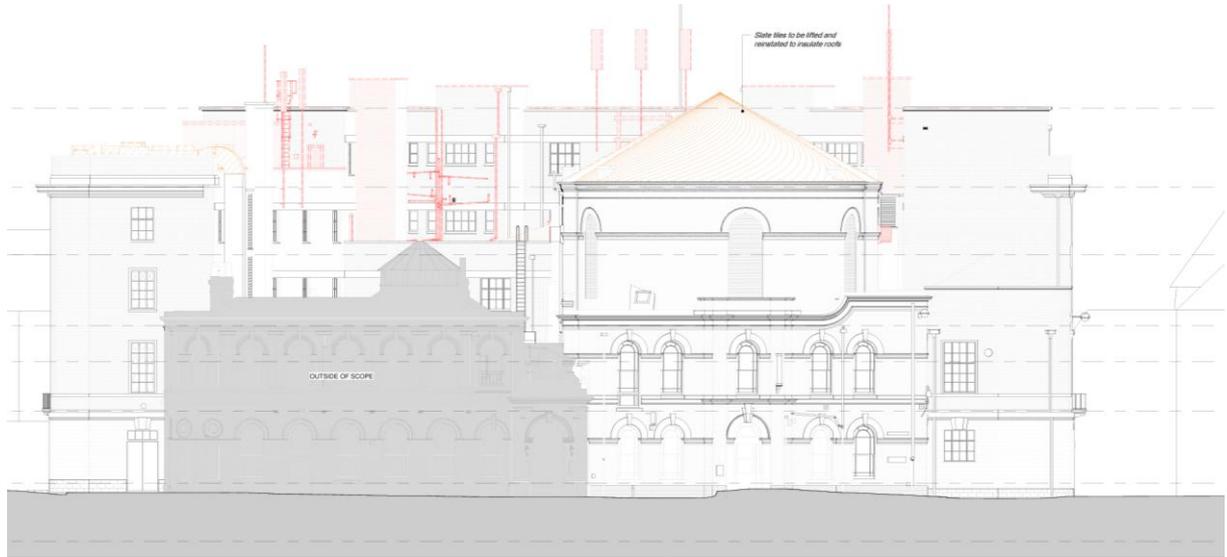
Wheeler Street (Rear) Elevations

Existing & Demolition Elevation

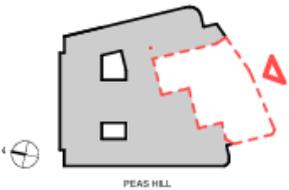
Key:

- Existing
- Proposed demolition
- Proposed demolition/
alteration to floor slab

Existing building element forming part of the historic fabric to be carefully removed and salvaged for reuse or storage for future reuse

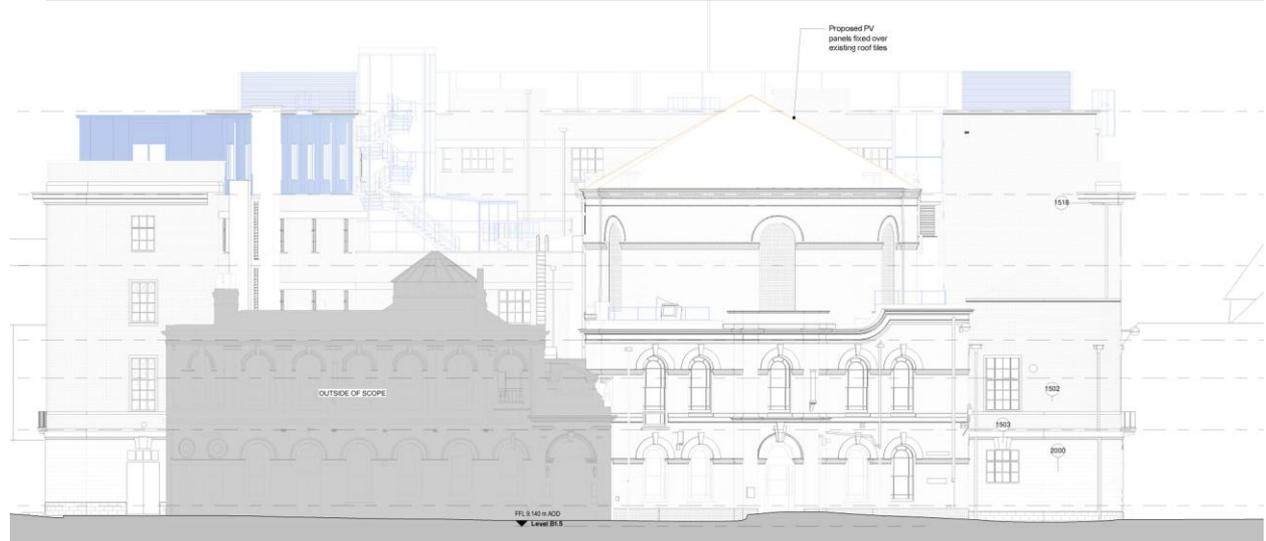


Page 38



Proposed Elevation

- Existing
- Proposed
- Removed and reused in another location



- Key:**
- Existing
 - Proposed demolition
 - Proposed demolition/alteration to floor slab
 - Existing building element forming part of the historic fabric to be carefully removed and salvaged for reuse or storage for future reuse

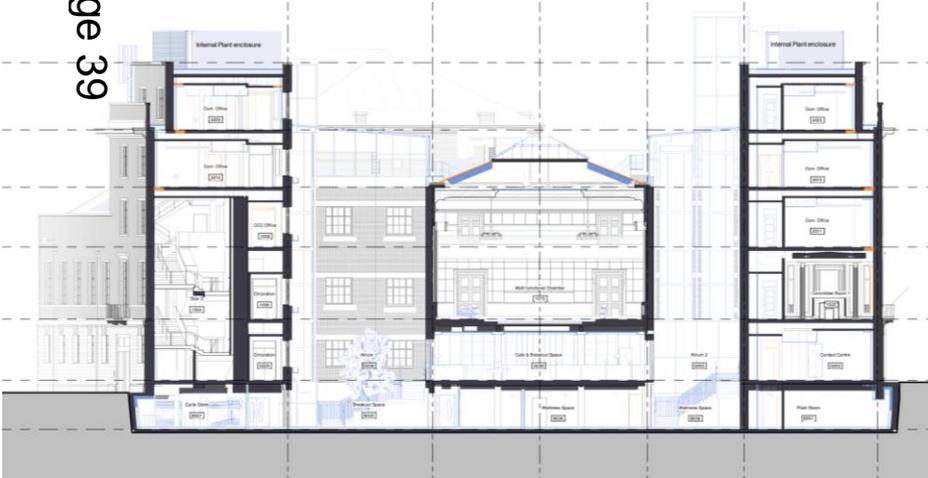
Sections

Existing & Demolition

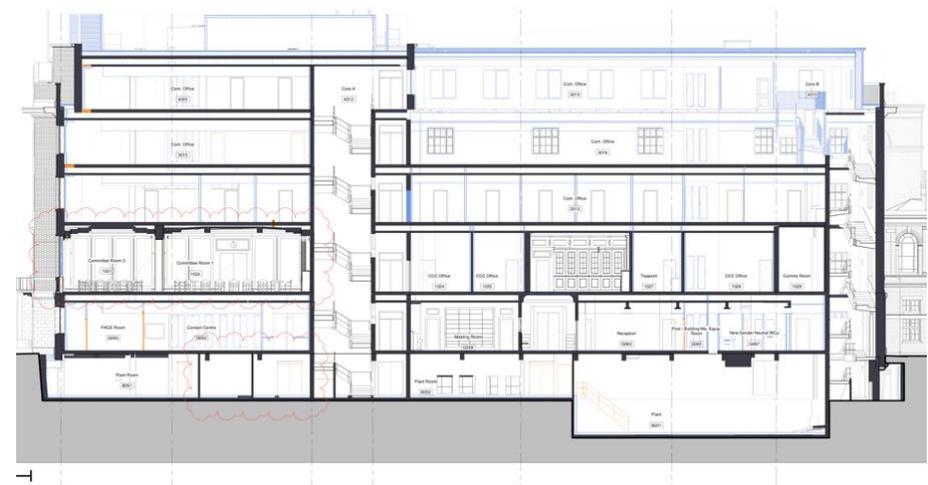


Proposed

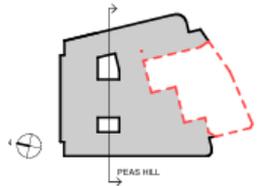
Page 39



Sections AA



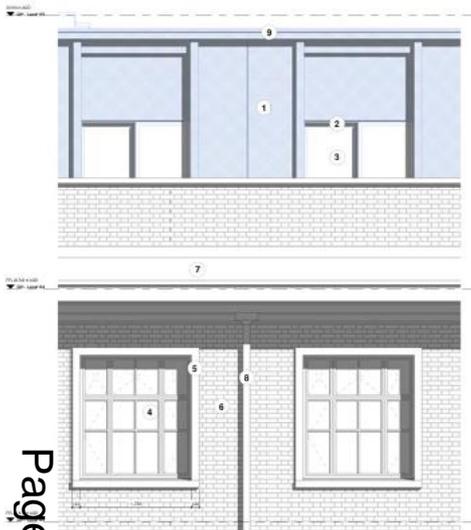
Sections BB



- Existing**
- Proposed**
- Removed and reused in another location**



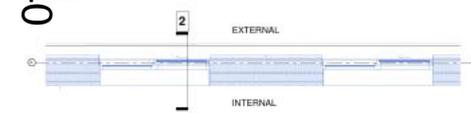
Fourth Floor Extension



Bay Study Elevation - 4th Floor Extension

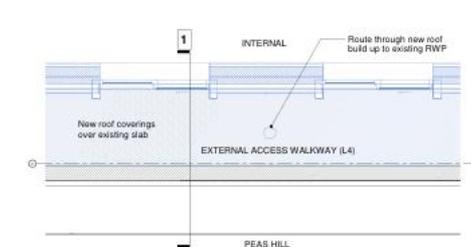
1:20

Page 40



Bay Study Plan - Fourth Floor Extension Rear Facade

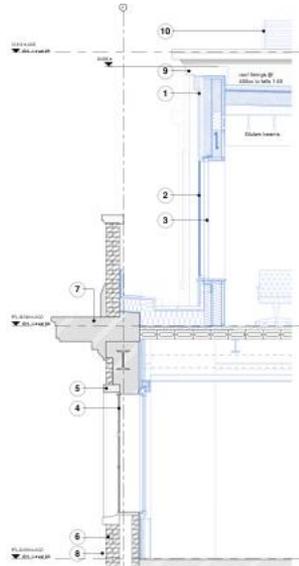
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Bay Study Plan - Fourth Floor Extension Front Facade

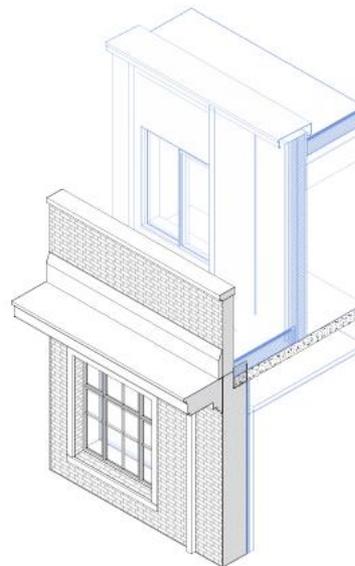
1:20

- Existing
- Proposed
- Removed and reused in another location

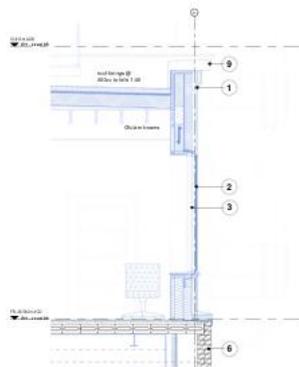


1 Bay Study Section - Front Elevation

1:20

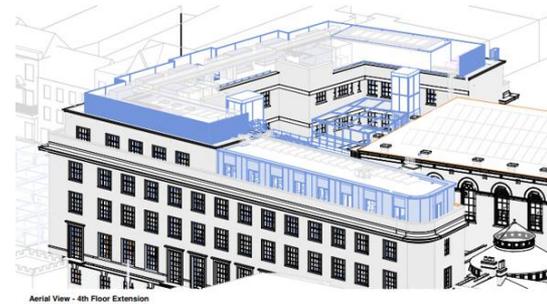
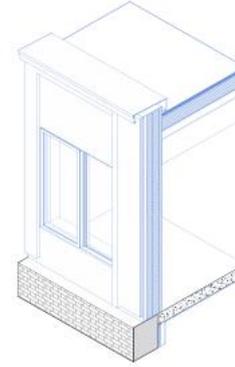


Bay Study 3D View - Front Elevation

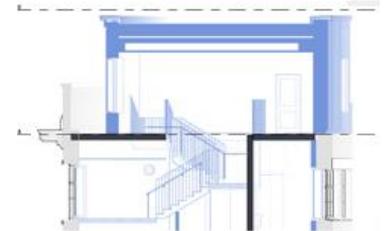


2 Bay Study Section - Rear Elevation

1:20

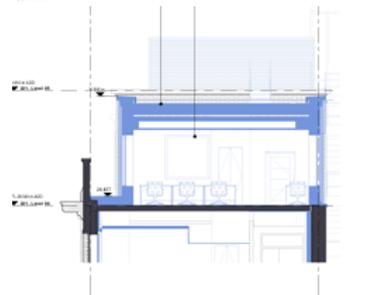


Aerial View - 4th Floor Extension



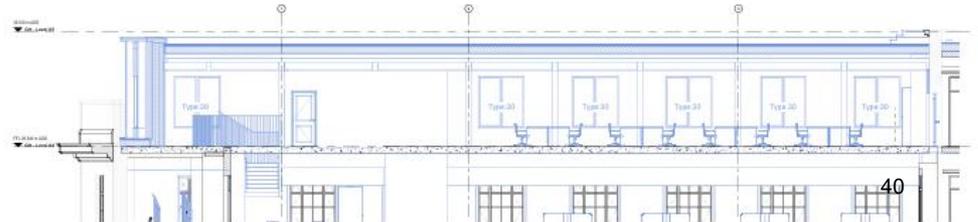
L4 Section B

1:50



C L4 Section C

1:50

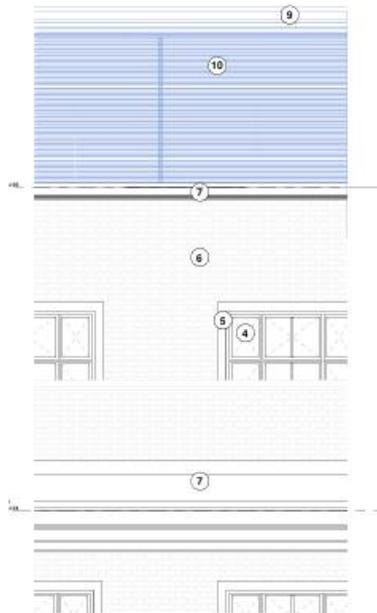


A L4 Section A

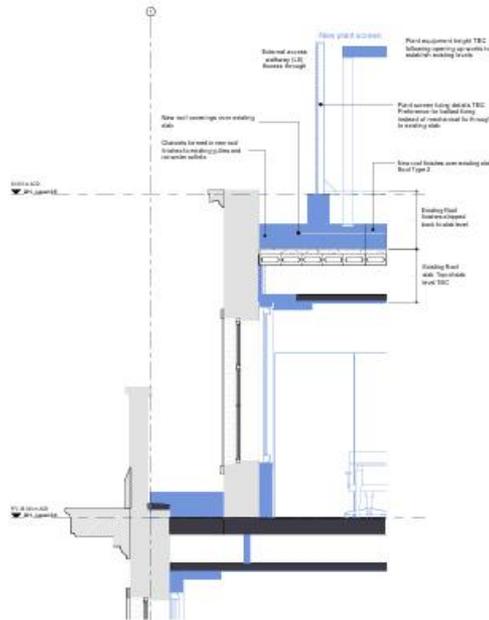
1:50

Rooftop Plant Screen - Bay Study

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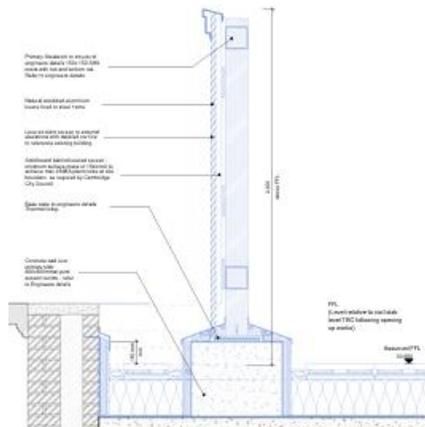
Bay Study Elevation - Plant Screen
1 : 20



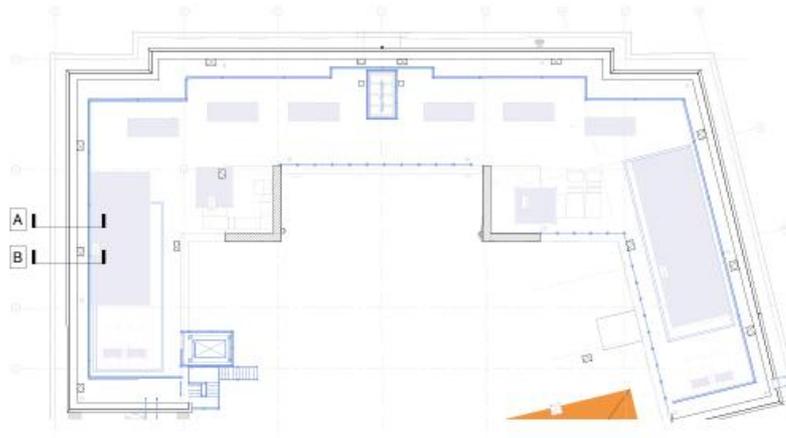
A Bay Study Section - Plant Screen
1 : 20

Materials Key

- 1 'Light Bronze effect' metal cladding panel
- 2 Bronze effect frame to proposed glazing
- 3 Proposed triple glazing - to meet EnerPHit criteria
- 4 Existing bronze framed single glazing
- 5 Existing stone framing surround
- 6 Existing brickwork
- 7 Existing stonework
- 8 Existing bronze metalwork
- 9 'Light Bronze effect' anodised cornicing
- 10 'Light Bronze effect' anodised louvre screen



B Bay Study Detail Section - Plant Screen



Bay Study Roof Plan - Proposed Plant Footprint

Existing Atria Elevations with Demolition

Atrium 1



Key:

-  Existing
-  Proposed demolition
-  Proposed demolition/alteration to floor slab
-  Existing building element forming part of the historic fabric to be carefully removed and salvaged for reuse or storage for future reuse

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Atrium 2



Atria Proposed Elevations

Atrium 1

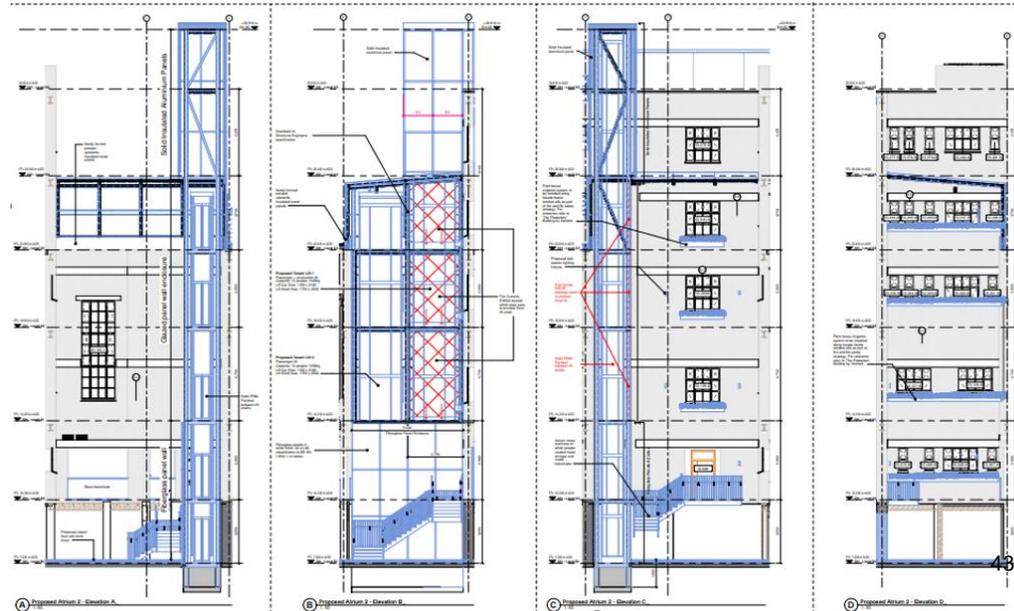


- Existing
- Proposed
- Removed and reused in another location



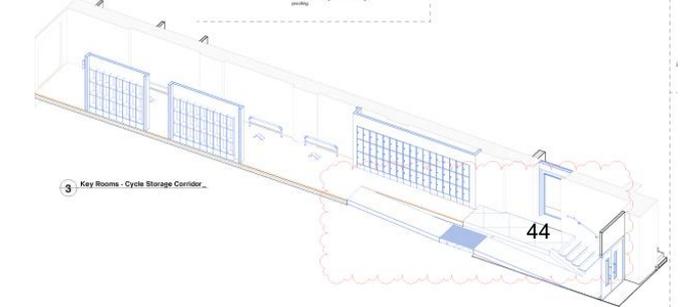
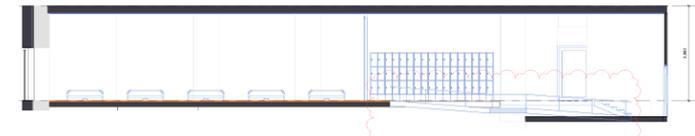
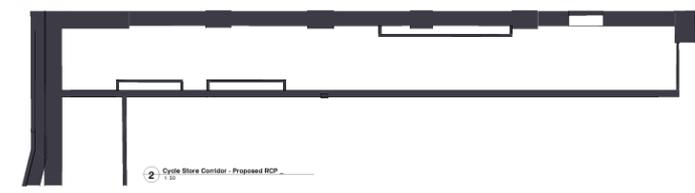
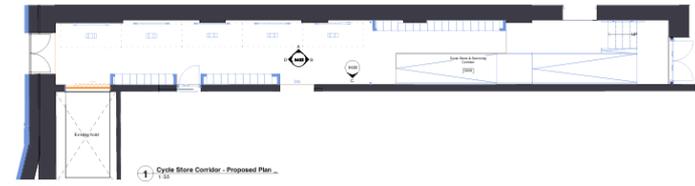
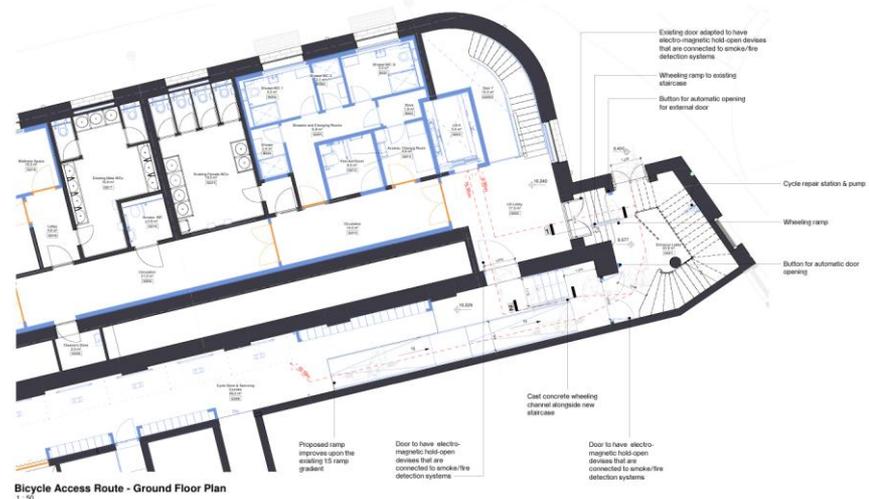
Page 43

Atrium 2

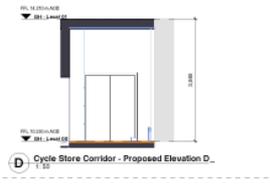
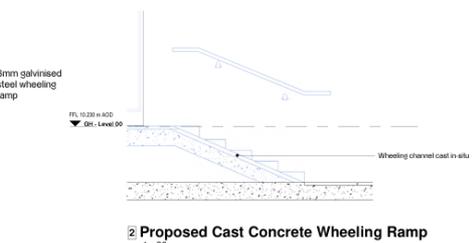
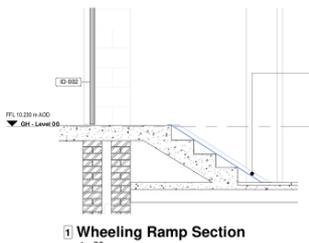
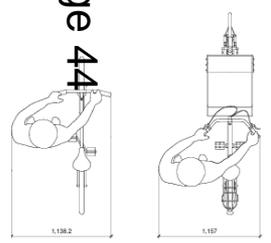


Bicycle Access Corridor - Ground Floor

- Existing
- Proposed
- Removed and reused in another location



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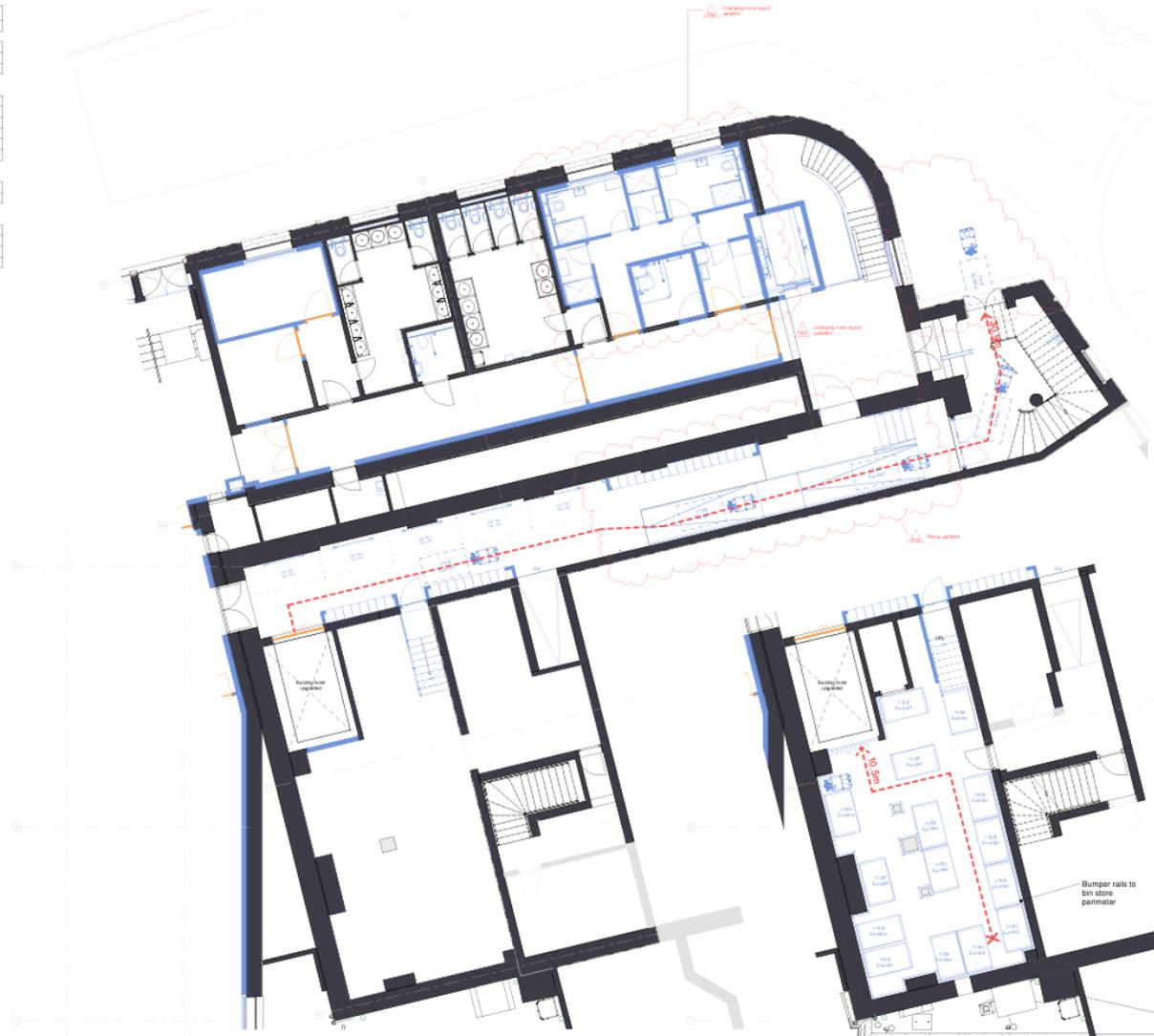


Proposed Waste and Recycling Storage Provision Schedule

Refuse Schedule		
Bin Type	Bin Provision	Collection Rate
1100L Eurobin	CCC Office	Twice Weekly Collection
1100L Eurobin	CCC Office	Twice Weekly Collection
1100L Eurobin	CCC Office	Twice Weekly Collection
CCC Office: 3		
1100L Eurobin	Commercial Office	Twice Weekly Collection
1100L Eurobin	Commercial Office	Twice Weekly Collection
1100L Eurobin	Commercial Office	Twice Weekly Collection
1100L Eurobin	Commercial Office	Twice Weekly Collection
1100L Eurobin	Commercial Office	Twice Weekly Collection
1100L Eurobin	Commercial Office	Twice Weekly Collection
Commercial Office: 6		
1100L Eurobin	Heart Space & Small/Large Halls	Twice Weekly Collection
1100L Eurobin	Heart Space & Small/Large Halls	Twice Weekly Collection
Heart Space & Small/Large Halls: 2		
1100L Eurobin	Restaurants	Daily Collection
1100L Eurobin	Restaurants	Daily Collection
1100L Eurobin	Restaurants	Daily Collection
1100L Eurobin	Restaurants	Daily Collection
Restaurants: 4		
Grand total: 15		

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- Existing
- Proposed
- Removed and reused in another location



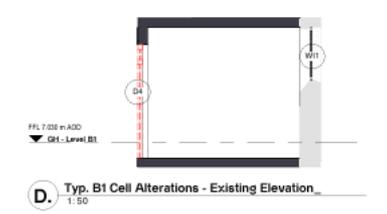
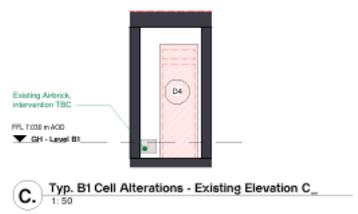
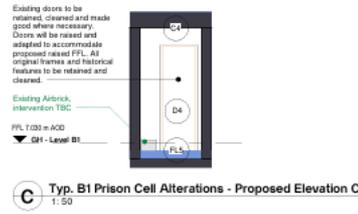
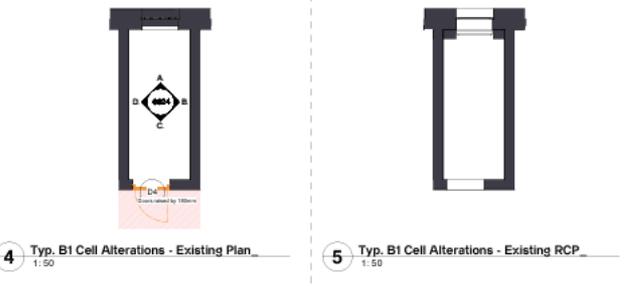
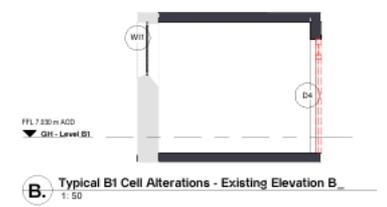
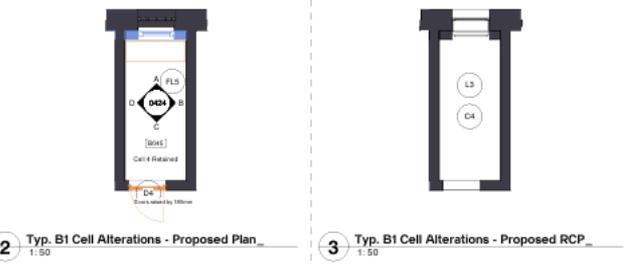
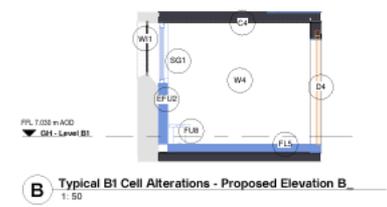
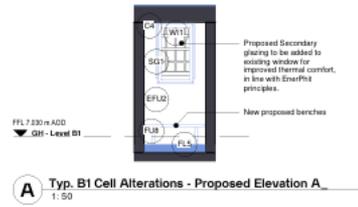
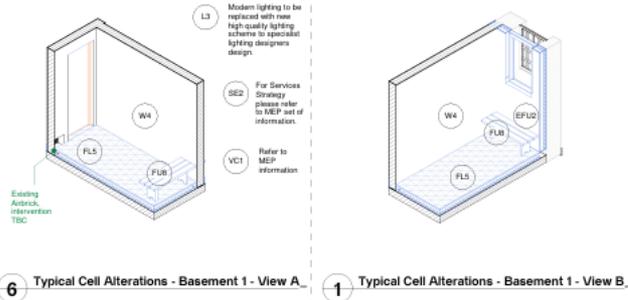
Ground Floor Plan Refuse Strategy_

Lower Ground Floor Plan Refuse Strategy_

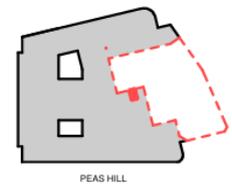
LBC Plans Only

Basement- Typical Cell Plans

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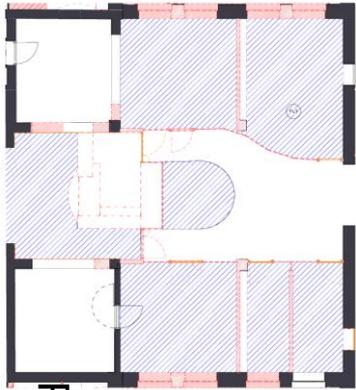


- Existing
- Existing Demolished
- Proposed
- Removed and reused in another location

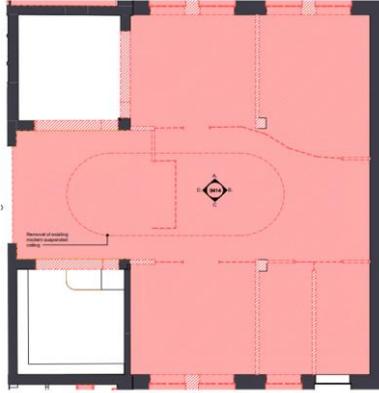


Ground Floor - Heart Space

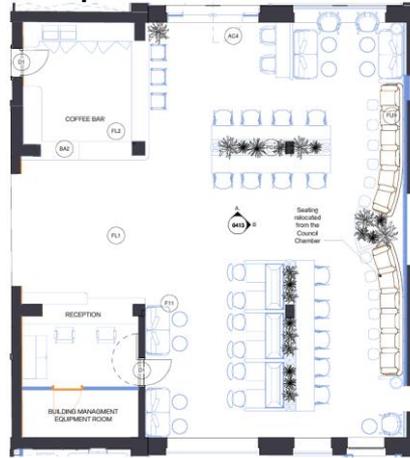
Existing Floor Plan



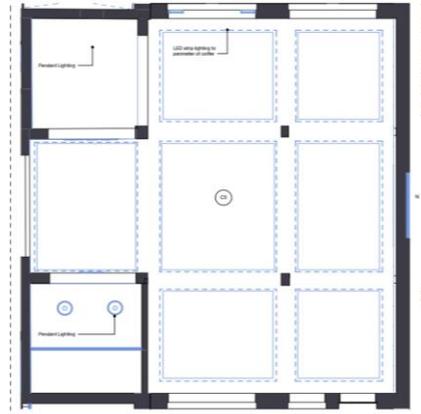
Existing RCP



Proposed Floor Plan



Proposed RCP

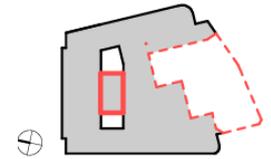
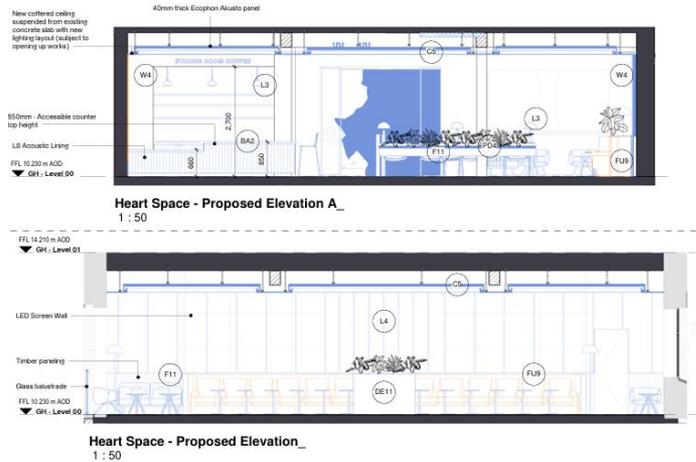


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Existing Elevations



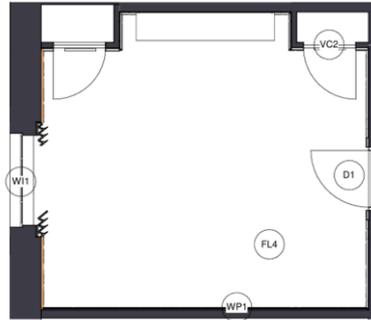
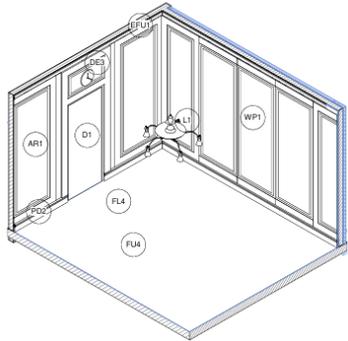
Proposed Elevations



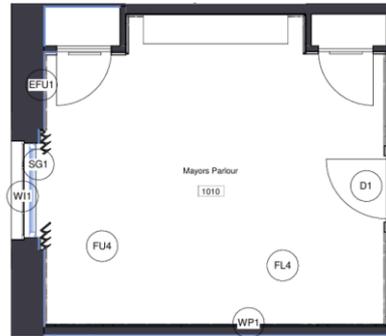
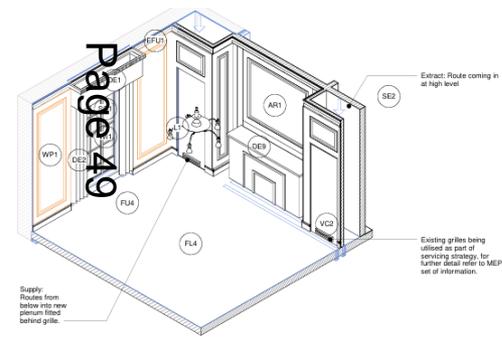
- Existing
- Existing Demolished
- Proposed
- Removed and reused in another location

Ground Floor Rooms

Mayors Parlour

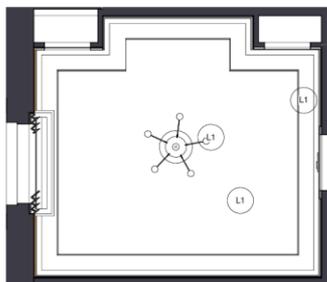


Existing Floor Plan

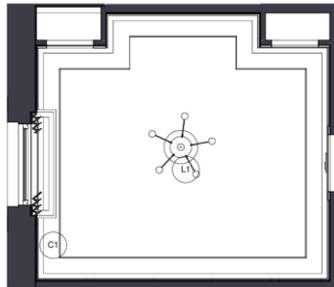


Proposed Floor Plan

Proposed 3d Views

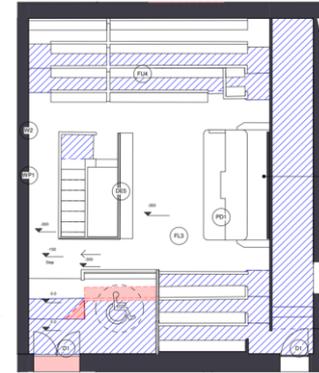


Existing RCP

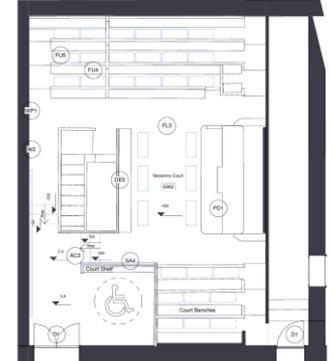


Proposed RCP

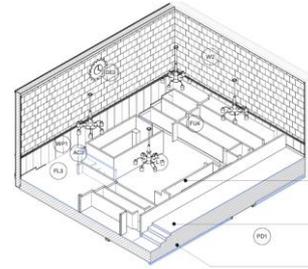
Sessions Court



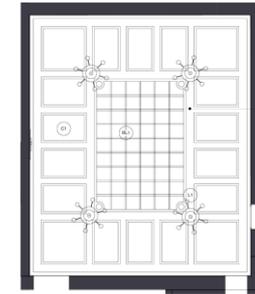
Existing Floor Plan



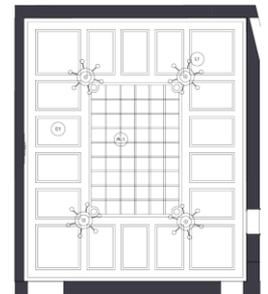
Proposed Floor Plan



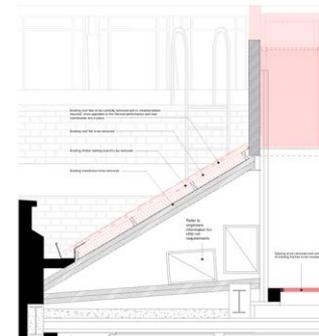
Proposed 3d View



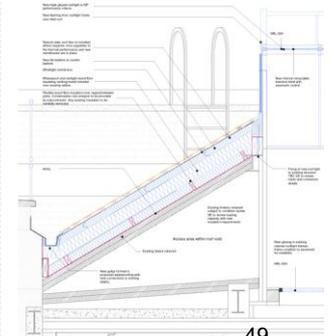
Existing RCP



Proposed RCP

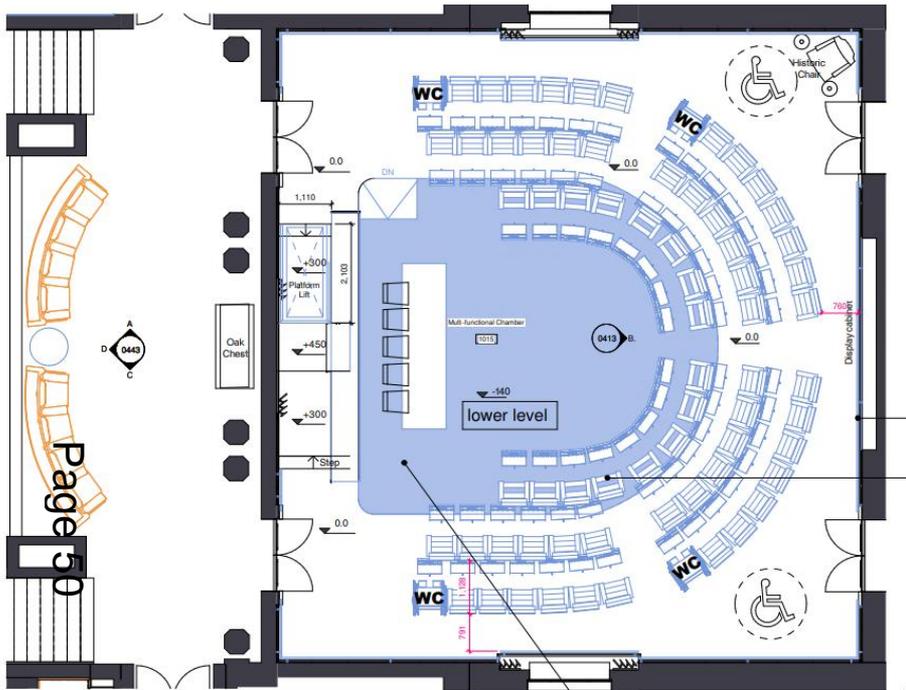


Existing Roof



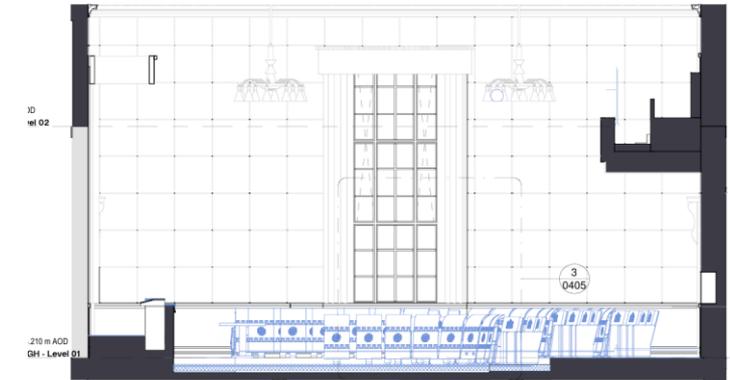
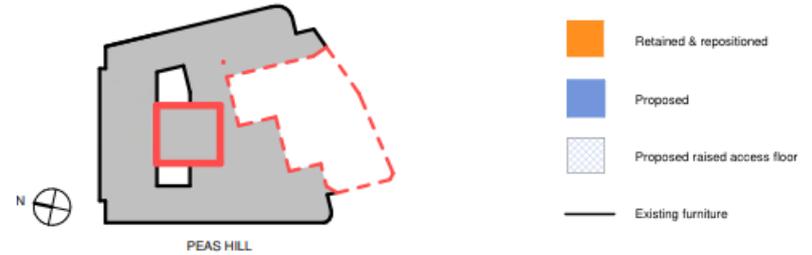
Proposed Roof

First floor - Council Chamber

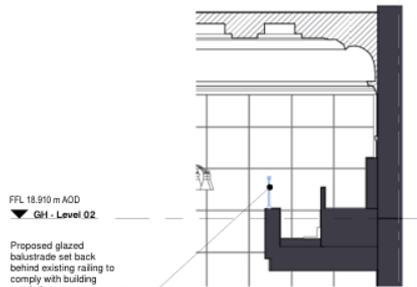


1 Council Chamber - Proposed Option 6 - Plan First Floor. 1:50

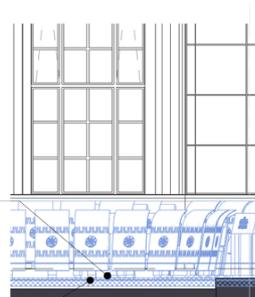
Blue hatched area of floor will be height adjustable to create the option for a tiered arrangement and maintaining the flexibility of



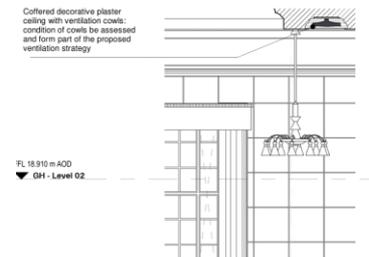
Proposed Council Chamber - First Floor - Improved AV Provision



FFL 18.910 m AOD
▼ GH - Level 02



2 Proposed Council Chamber - Lower adaptations.

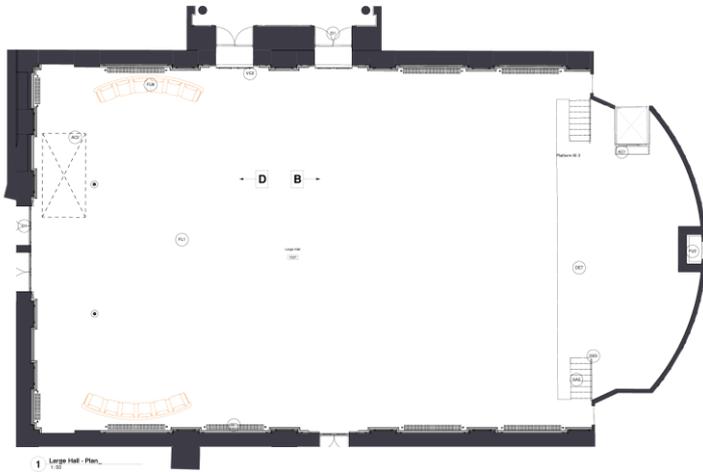


FL 18.910 m AOD
▼ GH - Level 02

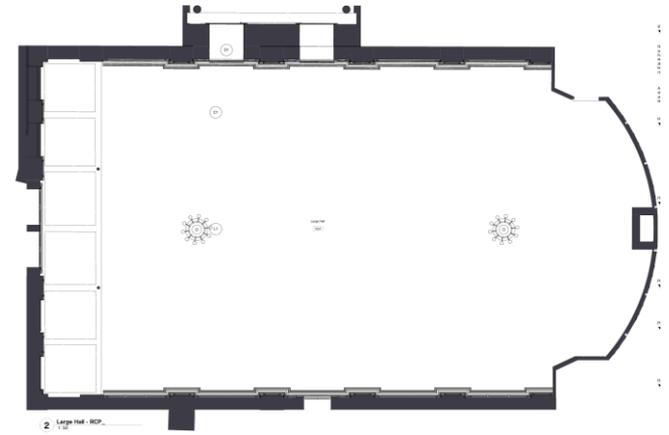
5 Proposed Council Chamber - Ventilation & Wall Panelling.

4 Proposed Council Chamber - Public Viewing Gallery 1:50

First Floor – Large Hall

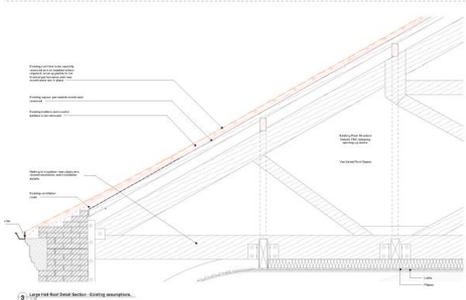
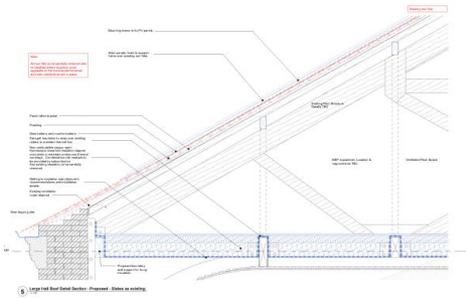


1 Large Hall - Plan...
Proposed Floor Plan

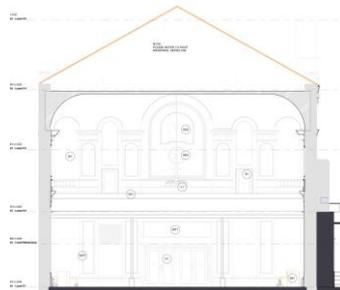
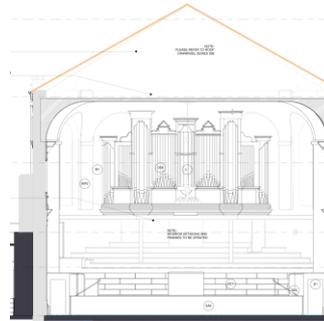


2 Large Hall - RCP...
Proposed RCP

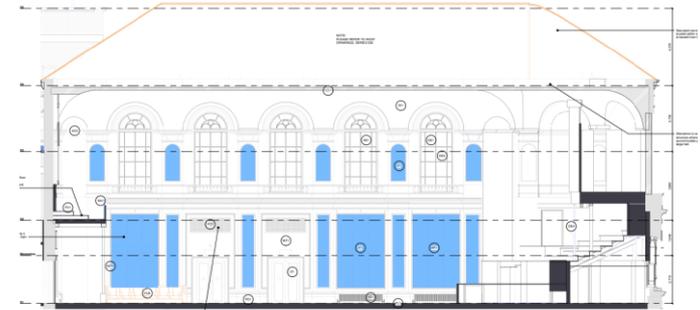
Page 53



Existing and Proposed Roof

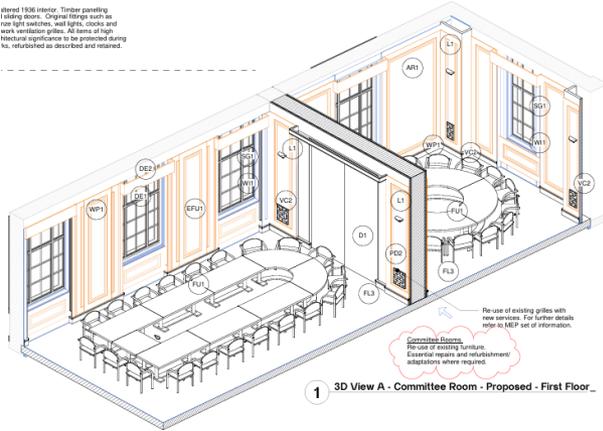


Proposed Elevations

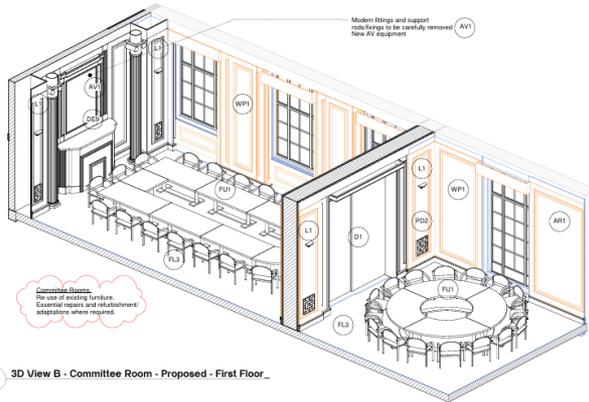


First Floor – Committee Rooms

Harvest 1800 Interior. Timber panelling, lighting down, original fittings such as varnished furniture, wall lights, clocks and work ventilation grilles. All items of high historical significance to be preserved using fix, refurbished as described and retained.



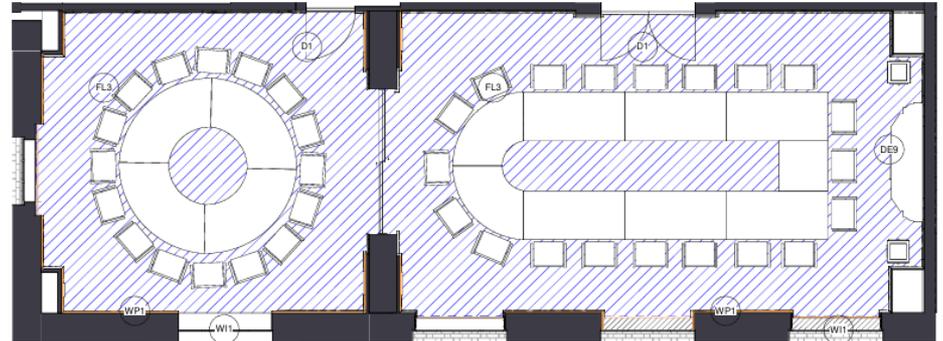
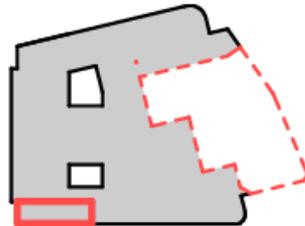
1 3D View A - Committee Room - Proposed - First Floor...



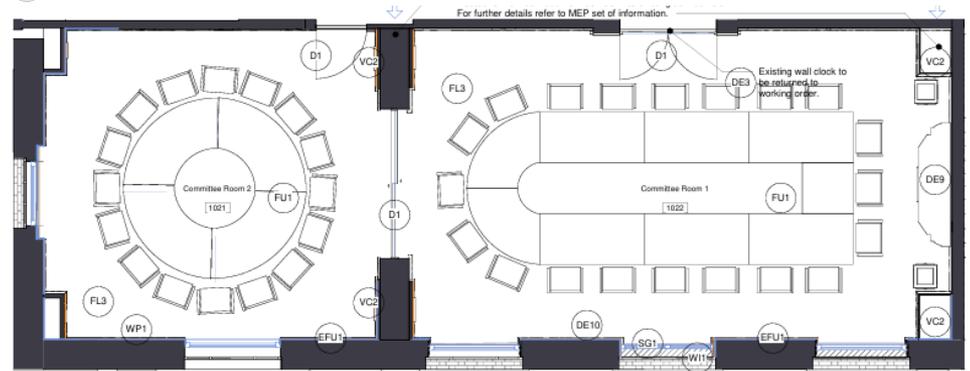
4 3D View B - Committee Room - Proposed - First Floor...

Page 54

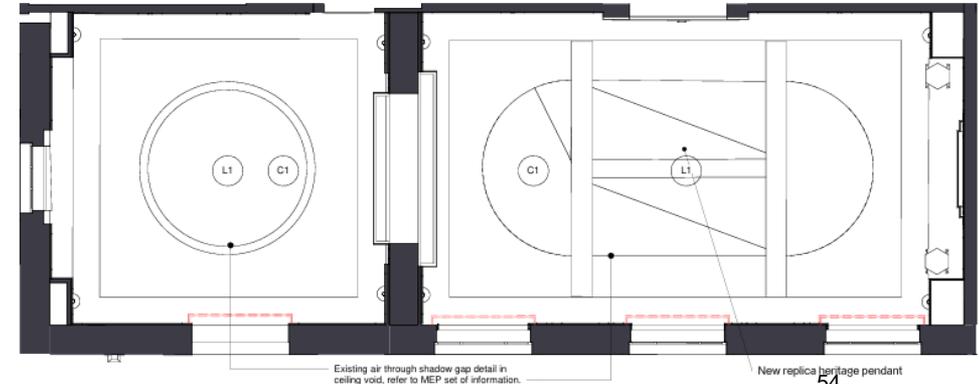
- Existing
- Existing Demolished
- Proposed
- Removed and reused in another location



3 Key Rooms - Committee Room 1 - Existing Plan - First Floor...
1:50



2 Key Rooms - Committee Room - Proposed Plan First Floor...
1:50

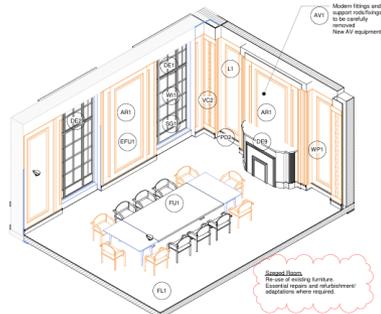


5 Key Rooms - Committee Rooms - Proposed RCP - First Floor...
1:50

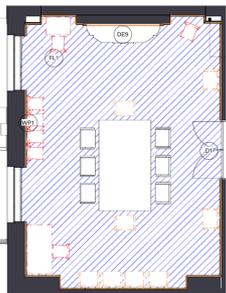
First Floor Rooms

- Existing
- Existing Demolished
- Proposed
- Removed and reused in another location

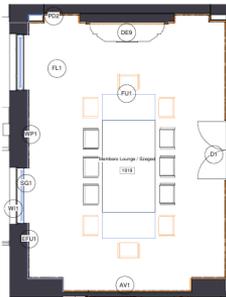
Szegeed Room



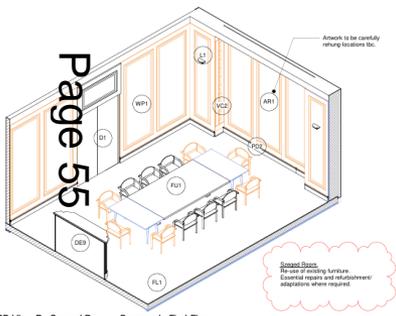
View A - Szegeed Room - Proposed - First Floor



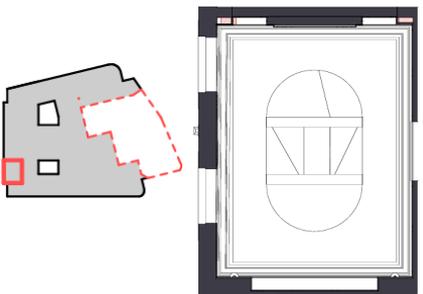
3 Key Rooms - Szegeed Room - Existing Plan First Floor



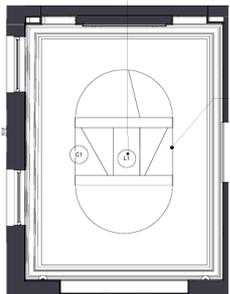
1 Key Rooms - Szegeed Room - Proposed Plan First Floor



3D View B - Szegeed Room - Proposed - First Floor

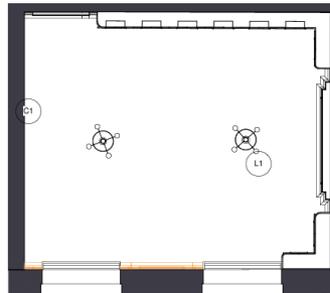


4 Key Rooms - Szegeed Room - Existing RCPs - First Floor

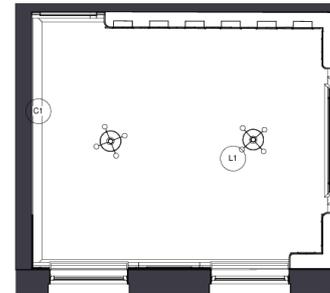


2 Key Rooms - Szegeed Room - Proposed RCPs - First Floor

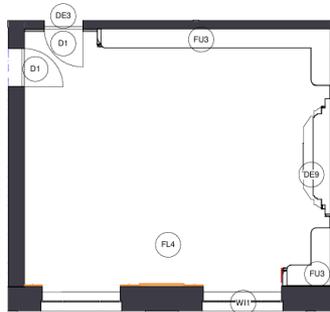
CEO Office



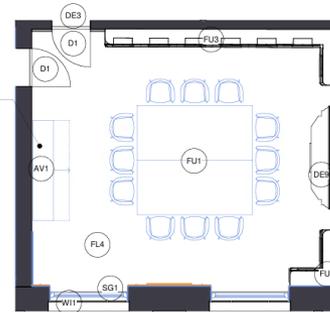
4 Chief Executives Office - Existing RCP



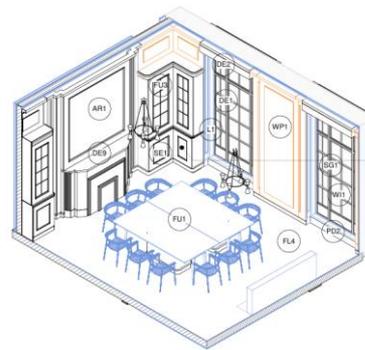
5 Chief Executives Office - Proposed RCP



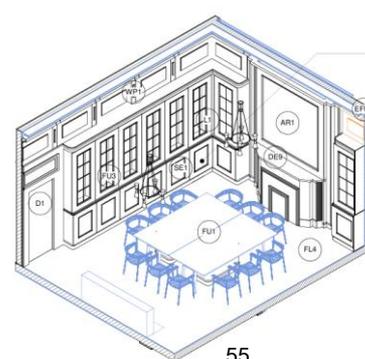
3 Chief Executives Office - Existing Plan



1 Chief Executives Office - Proposed Plan



3D View A - Chief Executives Office - Proposed - First Floor

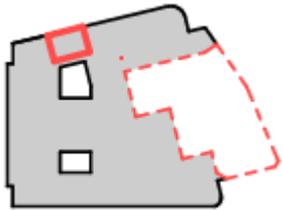
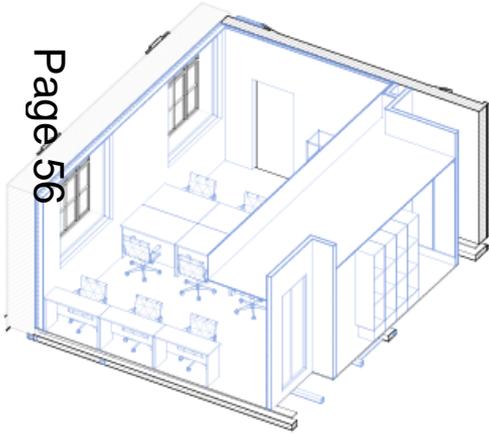


3D View B - Chief Executives Office - Proposed - First Floor

Typical Office Room Plan

- Existing
- Proposed
- Removed and reused in another location

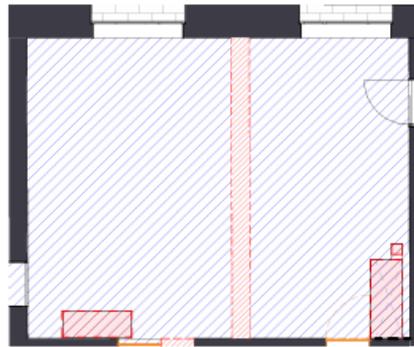
Page 56



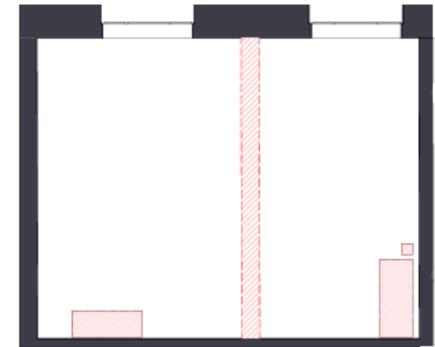
2 Key Rooms - Typical Meeting Room GF - Plan
1:50



4 Key Rooms - Typical Meeting Room GF - RCP
1:50

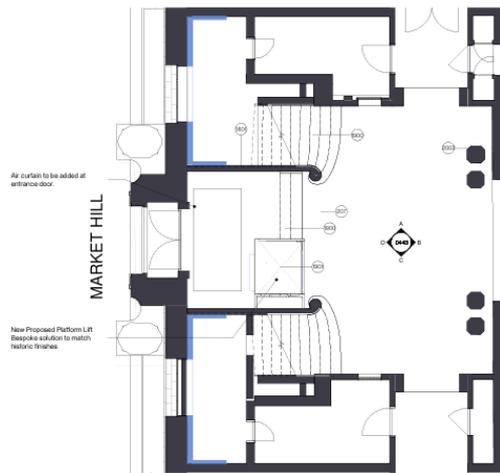


3 Key Rooms - Typical Meeting Room GF - Existing Plan
1:50

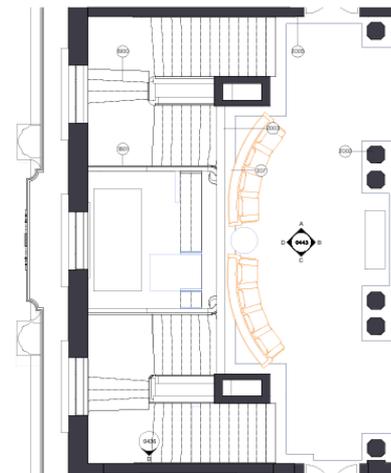


5 Key Rooms - Typical Meeting Room GF - Existing RCP
1:50

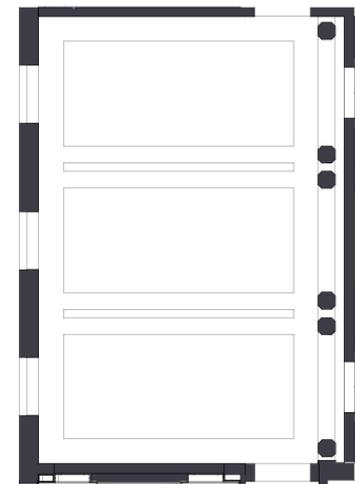
Market Hill Entrance



1 Market Hill Entrance - Stair 5 - Proposed Typical Plan (GF)

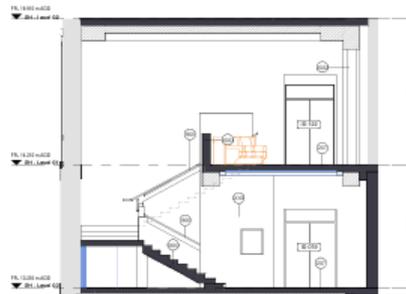


2 Market Hill Entrance - Stair 5 - Proposed Typical Plan (1st)

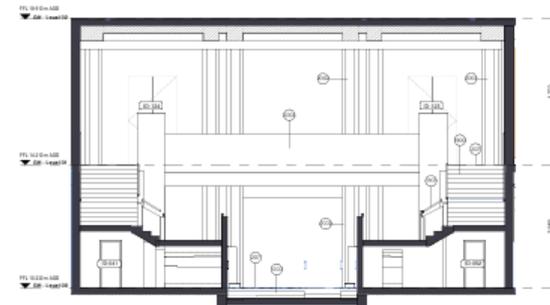


3 Market Hill Entrance - Stair 7 - Proposed RCP (1st)

Existing
 Existing Demolished
 Proposed
 Removed and reused in another location



A Market Hill Entrance - Stair 5 & Platform Lift 7 - Proposed Elevation A



B Market Hill - Stair 5 & Platform Lift 7 - Proposed Elevation B

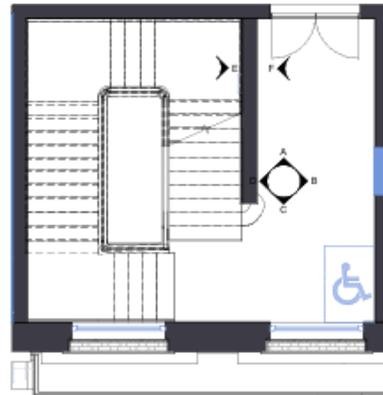


Core A and Peas Hill Entrance

- Existing
- Proposed
- Removed and reused in another location



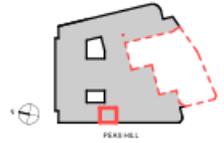
1 Core A - Peas Hill Stair - Proposed Plan
1:50



3 Core A - Peas Hill Stair - Proposed Typical Plan (2nd)
1:50



2 Core A - Peas Hill Stair - Proposed RCP 4th Level
1:50

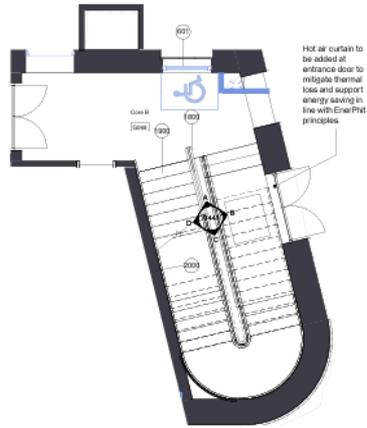


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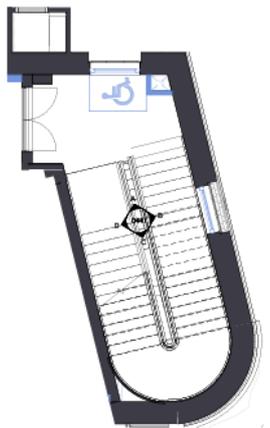


Core A - Peas Hill Stair - Proposed Elevation F

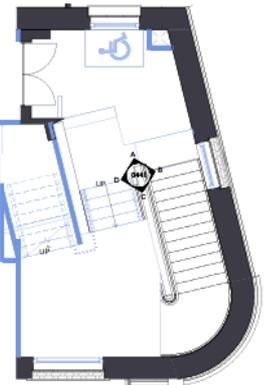
Core B, Bene't Street Entrance



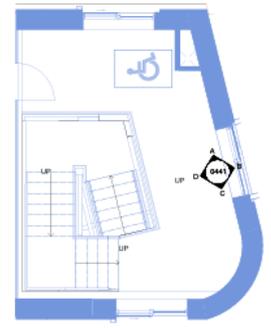
1 Core B - Stair - Proposed Plan (GF)
1:50



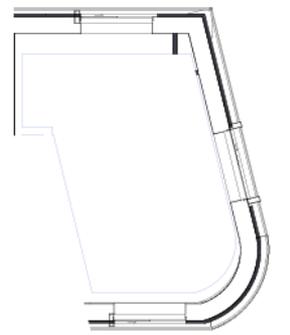
3 Core B - Stair - Proposed Typical Plan (2nd)
1:50



5 Core B - Stair - Proposed Typical Plan (3rd)
1:50



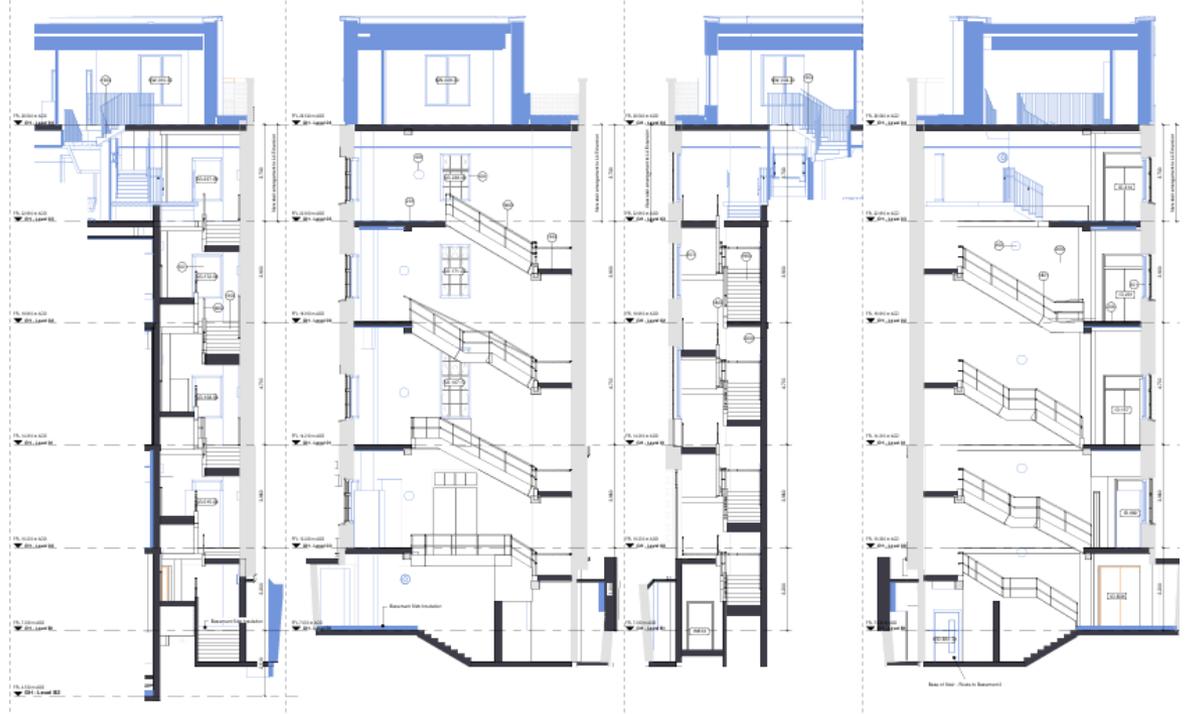
4 Core B - Stair - Proposed Typical Plan (4th)
1:50



2 Core B - Stair - Proposed RCP 4th Level
1:50

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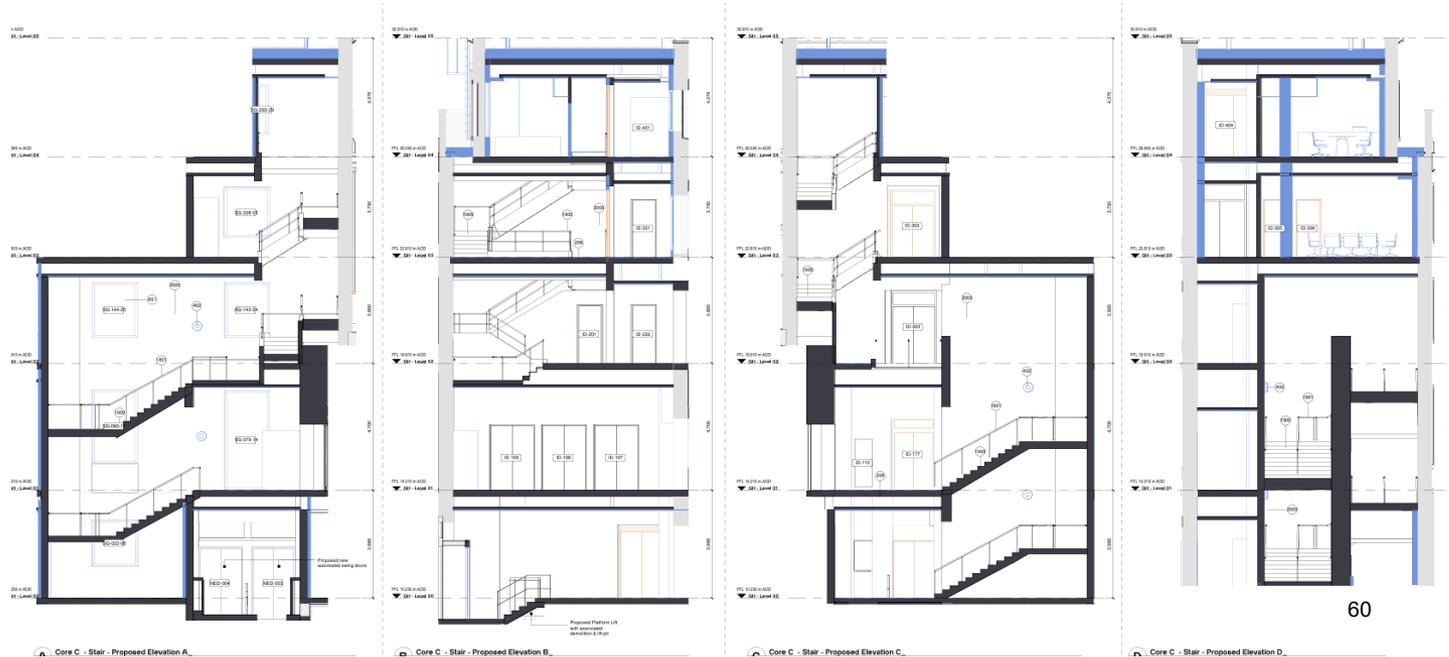
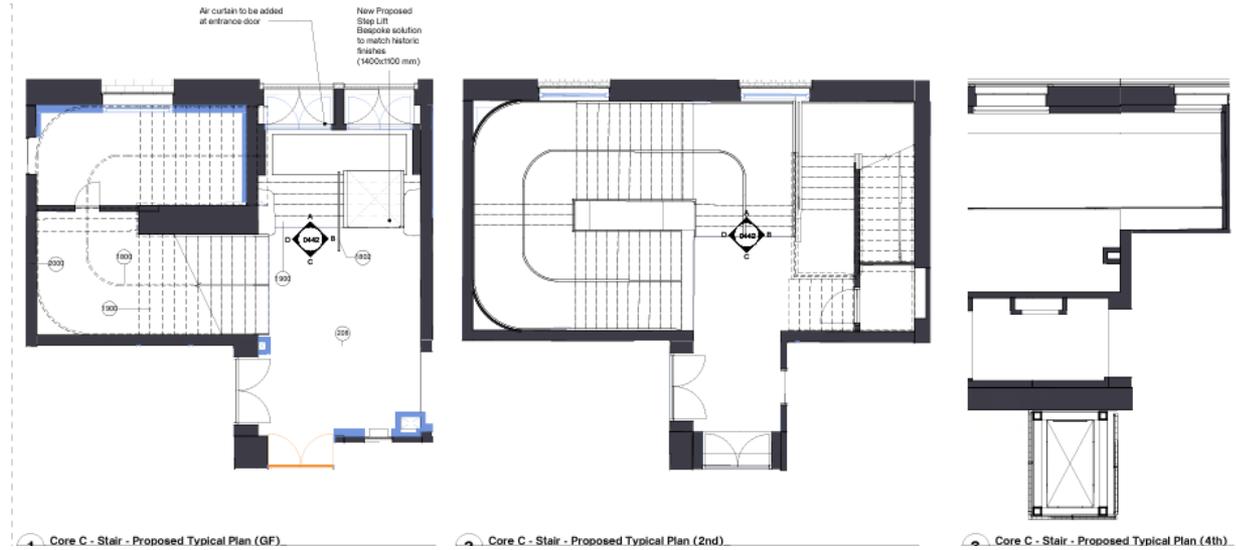
Existing
 Proposed
 Removed and reused in another location



A Core B - Stair - Proposed Elevation A, B Core B - Stair - Proposed Elevation B, C Core B - Stair - Proposed Elevation C, D Core B - Stair - Proposed Elevation D

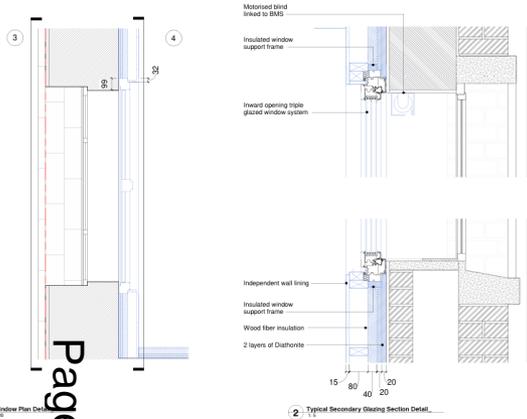
Core C, Guildhall Street Entrance

- Existing
- Proposed
- Removed and reused in another location

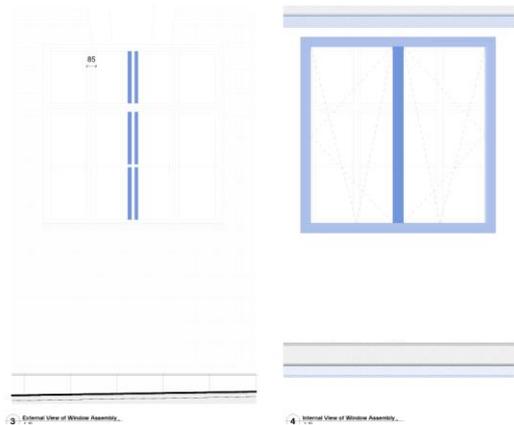


Secondary Glazing – Typical

Typical



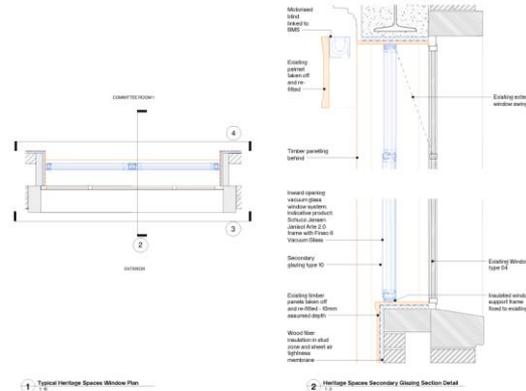
Exterior view illustrating the visual effect of the secondary glazing here.



3 External View of Window Assembly.

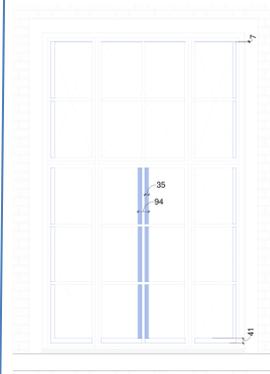
4 Internal View of Window Assembly.

Historic

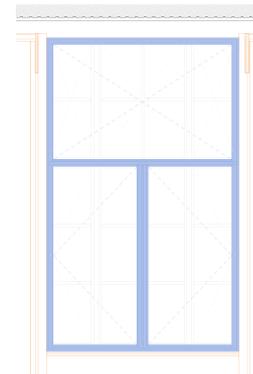


1 Typical Heritage Spaces Window Plan.

2 Heritage Spaces Secondary Glazing Section Detail.



3 External View of Heritage Spaces Window Assembly.



4 Internal View of Heritage Spaces Window Assembly.



Interior view from Control Room 1 illustrating the visual impact of the secondary glazing here.



- Existing
- Proposed
- Removed and reused in another location

Roof Build Ups

Warm Roofs

1 Roof - 4th floor extension
1.1.0
Roof Type 1: 4th floor extension
Location: Proposed roof above 4th floor extension

2 Typical Inverted Roof
2.1.0
Roof Type 2: Flat Inverted Roof
Location: All floor
U-value: 0.18 W/m²K

3 Proposed Roof - Plant Rooms
3.1.0
Roof Type 3: Insulated panel system
Location: 4th floor above plant rooms

4 Proposed Roof - Atrium Lift Shaft
4.1.0
Roof Type 4: Overhead Roofing system
Location: Lift shafts

5 Proposed Roof - Plant Rooms
5.1.0
Roof Type 5: Insulated panel system
Location: 4th floor above plant rooms

6 Proposed Roof - Atrium Lift Shaft
6.1.0
Roof Type 6: Overhead Roofing system
Location: Lift shafts

7 Proposed Roof - Plant Rooms
7.1.0
Roof Type 7: Insulated panel system
Location: 4th floor above plant rooms

8 Proposed Roof - Atrium Lift Shaft
8.1.0
Roof Type 8: Overhead Roofing system
Location: Lift shafts

Pitched Roofs

5 Large Hall Roof Detail Section - Proposed - Slates as existing
5.1.0
Roof Type 5: Large Hall Roof - slate panels
Location: 4th floor above main hall
U-value: 0.18 W/m²K

6 Small Hall Roof Detail Section - Proposed - Slates as existing
6.1.0
Roof Type 6: Small Hall Roof - slate panels
Location: 4th floor above small hall
U-value: 0.18 W/m²K

7 Downfall Chamber Roof Detail Section - Proposed - Slates as existing
7.1.0
Roof Type 7: Downfall Chamber Roof - slate panels
Location: 4th floor above downfall chamber
U-value: 0.18 W/m²K

Flat Roofs

5 Main Roof Section - Typical Parapet Roof Level
5.1.0
Roof Type 5: 4th floor roof
Location: Proposed roof above 4th floor extension

2 Main Roof Section - Typical Parapet 4th Floor
2.1.0
Roof Type 2: Flat Inverted Roof
Location: 4th floor above 4th floor extension walls

3 Main Roof Section - 4th Floor Extension Walls
3.1.0
Roof Type 3: Flat Inverted Roof
Location: 4th floor above 4th floor extension walls

Roof Type Key

- Existing
- Proposed
- Existing roof slated and substructure to be removed
- Area to be drawn out of scope

Proposed Roof Type Key

Warm Roofs

- Roof Type 1: 4th floor extension U-value: 0.18 W/m²K
- Roof Type 2: Flat Inverted Roof U-value: 0.18 W/m²K
- Roof Type 3: Insulated panel system U-value: 0.18 W/m²K
- Roof Type 4: Overhead Roofing system U-value: 0.18 W/m²K
- Roof Type 5: Large Hall Roof - slate panels U-value: 0.18 W/m²K
- Roof Type 6: Small Hall Roof - slate panels U-value: 0.18 W/m²K
- Roof Type 7: Downfall Chamber Roof - slate panels U-value: 0.18 W/m²K
- Roof Type 8: Overhead Roofing system U-value: 0.18 W/m²K

Pitched Roofs

- Roof Type 9: Pitched Slate Roof - insulation in gable zone with Fragile Heritage Cladding System U-value: 0.18 W/m²K
- Roof Type 10: Pitched Slate Roof - insulation in gable zone with Fragile Heritage Cladding System U-value: 0.18 W/m²K
- Roof Type 11: Pitched Slate Roof - insulation in gable zone with Fragile Heritage Cladding System U-value: 0.18 W/m²K

Atrium Roofs

- Roof Type 12: Atrium Lift Shaft U-value: 0.18 W/m²K
- Roof Type 13: Atrium Lift Shaft U-value: 0.18 W/m²K
- Roof Type 14: Atrium Lift Shaft U-value: 0.18 W/m²K

Lift Roofs

- Roof Type 15: Lift Shaft U-value: 0.18 W/m²K
- Roof Type 16: Lift Shaft U-value: 0.18 W/m²K
- Roof Type 17: Lift Shaft U-value: 0.18 W/m²K

Inverted Roofs

- Roof Type 18: Flat Inverted Roof U-value: 0.18 W/m²K
- Roof Type 19: Flat Inverted Roof U-value: 0.18 W/m²K
- Roof Type 20: Flat Inverted Roof U-value: 0.18 W/m²K

Roof Lights

- Roof Type 21: Roof Light U-value: 0.18 W/m²K
- Roof Type 22: Roof Light U-value: 0.18 W/m²K
- Roof Type 23: Roof Light U-value: 0.18 W/m²K

Roof Type Key

- Existing
- Proposed
- Existing roof slated and substructure to be removed
- Area to be drawn out of scope

Proposed Roof Type Key

Warm Roofs

- Roof Type 1: 4th floor extension U-value: 0.18 W/m²K
- Roof Type 2: Flat Inverted Roof U-value: 0.18 W/m²K
- Roof Type 3: Insulated panel system U-value: 0.18 W/m²K
- Roof Type 4: Overhead Roofing system U-value: 0.18 W/m²K
- Roof Type 5: Large Hall Roof - slate panels U-value: 0.18 W/m²K
- Roof Type 6: Small Hall Roof - slate panels U-value: 0.18 W/m²K
- Roof Type 7: Downfall Chamber Roof - slate panels U-value: 0.18 W/m²K
- Roof Type 8: Overhead Roofing system U-value: 0.18 W/m²K

Pitched Roofs

- Roof Type 9: Pitched Slate Roof - insulation in gable zone with Fragile Heritage Cladding System U-value: 0.18 W/m²K
- Roof Type 10: Pitched Slate Roof - insulation in gable zone with Fragile Heritage Cladding System U-value: 0.18 W/m²K
- Roof Type 11: Pitched Slate Roof - insulation in gable zone with Fragile Heritage Cladding System U-value: 0.18 W/m²K

Atrium Roofs

- Roof Type 12: Atrium Lift Shaft U-value: 0.18 W/m²K
- Roof Type 13: Atrium Lift Shaft U-value: 0.18 W/m²K
- Roof Type 14: Atrium Lift Shaft U-value: 0.18 W/m²K

Lift Roofs

- Roof Type 15: Lift Shaft U-value: 0.18 W/m²K
- Roof Type 16: Lift Shaft U-value: 0.18 W/m²K
- Roof Type 17: Lift Shaft U-value: 0.18 W/m²K

Inverted Roofs

- Roof Type 18: Flat Inverted Roof U-value: 0.18 W/m²K
- Roof Type 19: Flat Inverted Roof U-value: 0.18 W/m²K
- Roof Type 20: Flat Inverted Roof U-value: 0.18 W/m²K

Roof Lights

- Roof Type 21: Roof Light U-value: 0.18 W/m²K
- Roof Type 22: Roof Light U-value: 0.18 W/m²K
- Roof Type 23: Roof Light U-value: 0.18 W/m²K

Roof Type Key

- Existing
- Proposed
- Existing roof slated and substructure to be removed
- Area to be drawn out of scope

Proposed Roof Type Key

Warm Roofs

- Roof Type 1: 4th floor extension U-value: 0.18 W/m²K
- Roof Type 2: Flat Inverted Roof U-value: 0.18 W/m²K
- Roof Type 3: Insulated panel system U-value: 0.18 W/m²K
- Roof Type 4: Overhead Roofing system U-value: 0.18 W/m²K
- Roof Type 5: Large Hall Roof - slate panels U-value: 0.18 W/m²K
- Roof Type 6: Small Hall Roof - slate panels U-value: 0.18 W/m²K
- Roof Type 7: Downfall Chamber Roof - slate panels U-value: 0.18 W/m²K
- Roof Type 8: Overhead Roofing system U-value: 0.18 W/m²K

Pitched Roofs

- Roof Type 9: Pitched Slate Roof - insulation in gable zone with Fragile Heritage Cladding System U-value: 0.18 W/m²K
- Roof Type 10: Pitched Slate Roof - insulation in gable zone with Fragile Heritage Cladding System U-value: 0.18 W/m²K
- Roof Type 11: Pitched Slate Roof - insulation in gable zone with Fragile Heritage Cladding System U-value: 0.18 W/m²K

Atrium Roofs

- Roof Type 12: Atrium Lift Shaft U-value: 0.18 W/m²K
- Roof Type 13: Atrium Lift Shaft U-value: 0.18 W/m²K
- Roof Type 14: Atrium Lift Shaft U-value: 0.18 W/m²K

Lift Roofs

- Roof Type 15: Lift Shaft U-value: 0.18 W/m²K
- Roof Type 16: Lift Shaft U-value: 0.18 W/m²K
- Roof Type 17: Lift Shaft U-value: 0.18 W/m²K

Inverted Roofs

- Roof Type 18: Flat Inverted Roof U-value: 0.18 W/m²K
- Roof Type 19: Flat Inverted Roof U-value: 0.18 W/m²K
- Roof Type 20: Flat Inverted Roof U-value: 0.18 W/m²K

Roof Lights

- Roof Type 21: Roof Light U-value: 0.18 W/m²K
- Roof Type 22: Roof Light U-value: 0.18 W/m²K
- Roof Type 23: Roof Light U-value: 0.18 W/m²K

Proposed External Doors

Key:

- Existing
- Proposed
- Proposed demolition

NED001 Proposed Basement Lightwell Door_ 1:20

NED002 Proposed Wheeler Street Entrance Door_ 1:20

NED003 and NED004 Proposed Core C Secondary Entrance Doors_ 1:20

NED005 Proposed Core A Secondary Entrance Door_ 1:20

NED006 Proposed Peas Hill Secondary Entrance Door_ 1:20

Proposed Bennet Street/Peas Hill Corner Door_ 1:20

Page 63

NED008 Proposed Ground Floor Lightwell Door_ 1:20

NED010 Proposed Level 1 Large Hall BOH Door_ 1:20

NED010 Large Hall BOH Door_ 1:20

NED011 Proposed Second Floor Roof Access Door_ 1:20

NED012 Proposed Third Floor Roof Access Door_ 1:20

NED-013 Proposed Third Floor Roof Access Door 11_ 1:20

NED013 Proposed Council Chamber Roof Access Door_ 1:20

25/04384/FUL: Planning Balance

Approval

Material considerations

- 65% reduction in energy use;
- 55% reduction in water use
- Improved accessibility
- Additional cycle parking;

Page 64



Refusal

Material considerations

- Low level of 'less than substantial harm to the Listed Building and Conservation Area

Officer Recommendation: **Approval** subject to condition

25/04385/LBC: Planning Balance

Approval

Material considerations

- 65% reduction in energy use;
- 55% reduction in water use;
- Allow building to continue with established, historic, local government use;
- Improved accessibility;
- Additional cycle parking;



Refusal

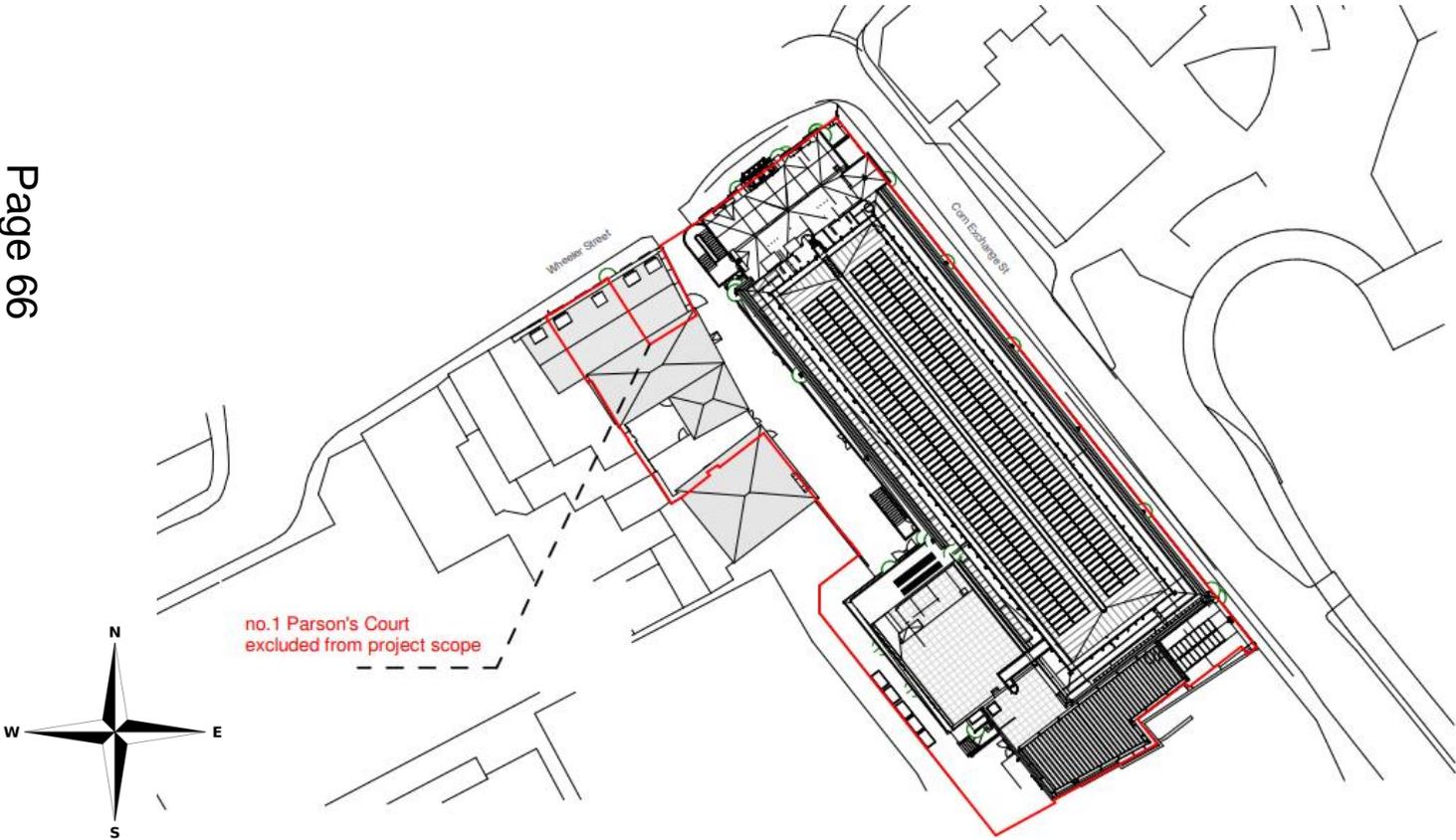
Material considerations

- Moderate level of 'less than substantial harm to the Listed Building'

Officer Recommendation: **Approval** subject to condition

25/04386/FUL Corn Exchange, 2 Wheeler Street and 3 & 3a Parsons Court Site Location Plan

Page 66

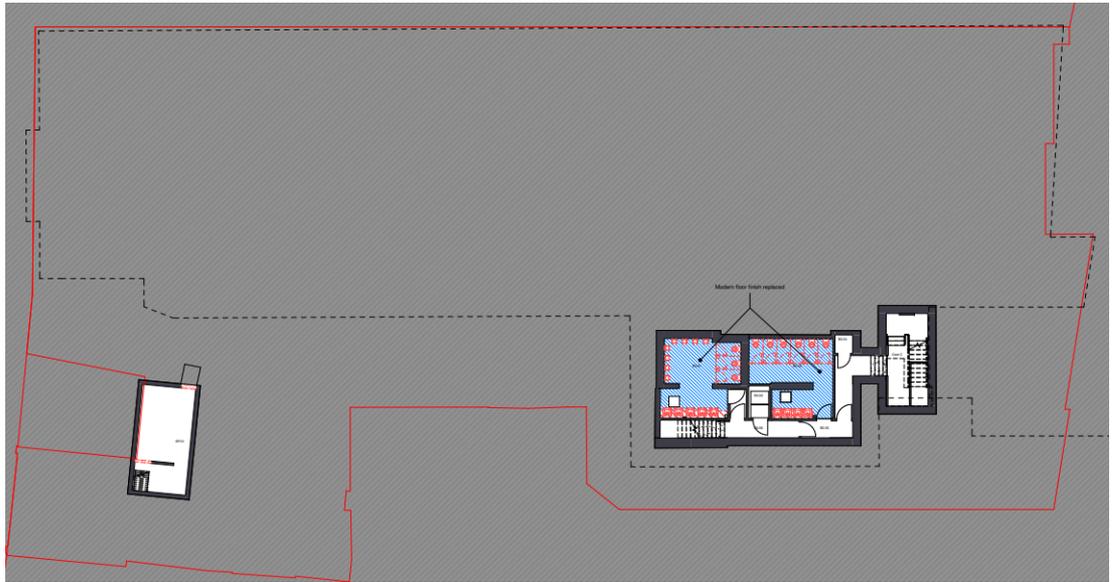


Basement Floor Plans

Existing & Demolition Floor Plan

Wall Type Key:

- Existing
- Demolition
- Existing floor finish removed
- Red Line Boundary

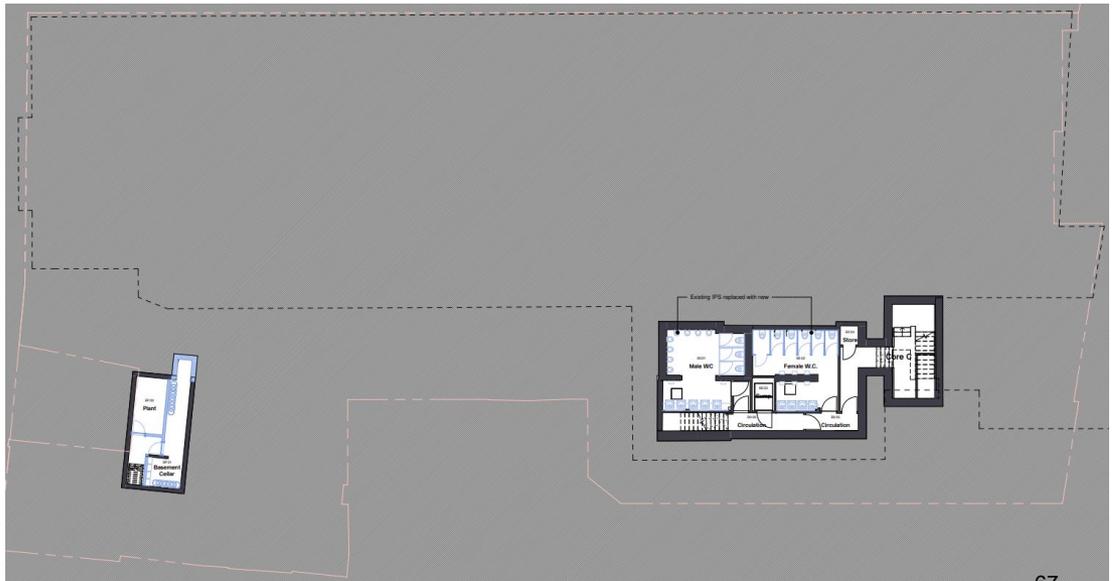


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Proposed Floor Plan

Wall Type Key:

- Existing
- Proposed

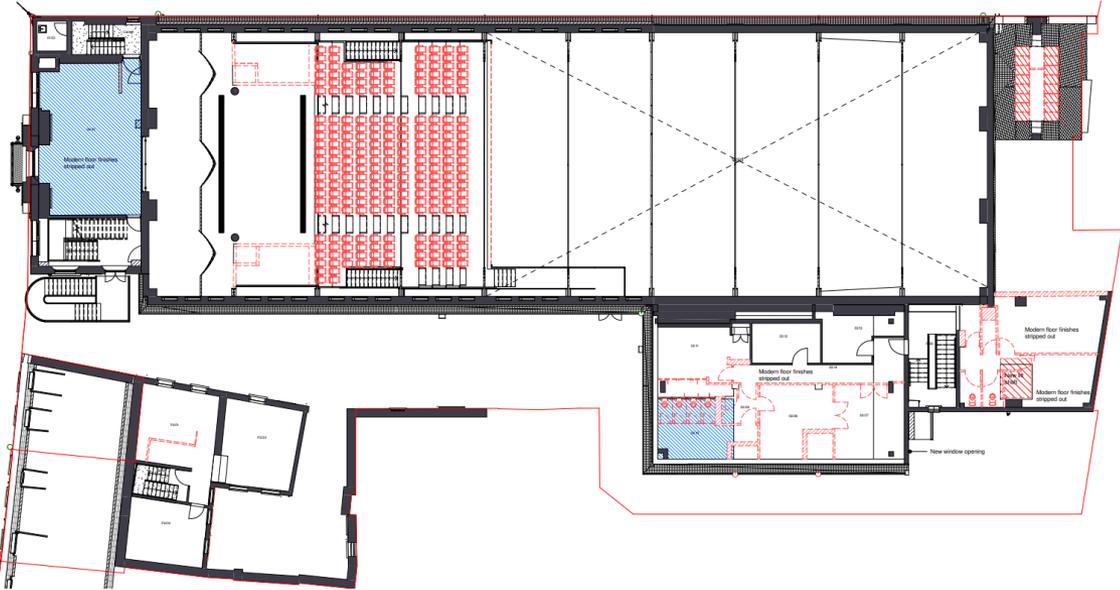


Second Floor Plan

Existing & Demolition Floor Plan

Wall Type Key:

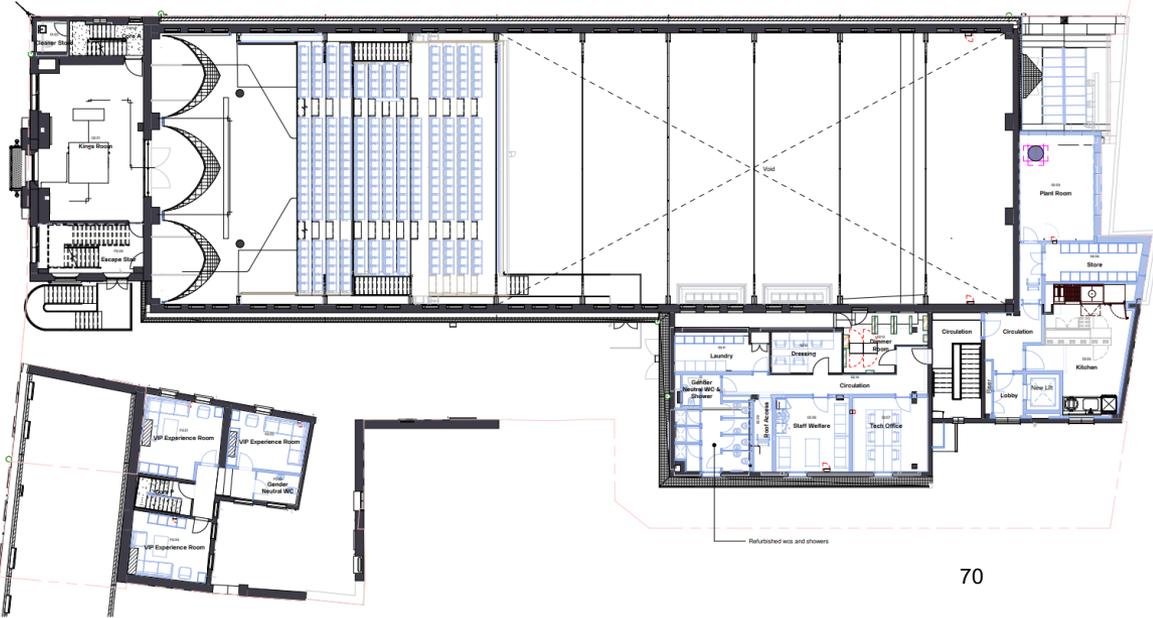
-  Existing
-  Demolition
-  Existing floor finish removed
-  Red Line Boundary



Proposed Floor Plan

Wall Type Key:

-  Existing
-  Proposed

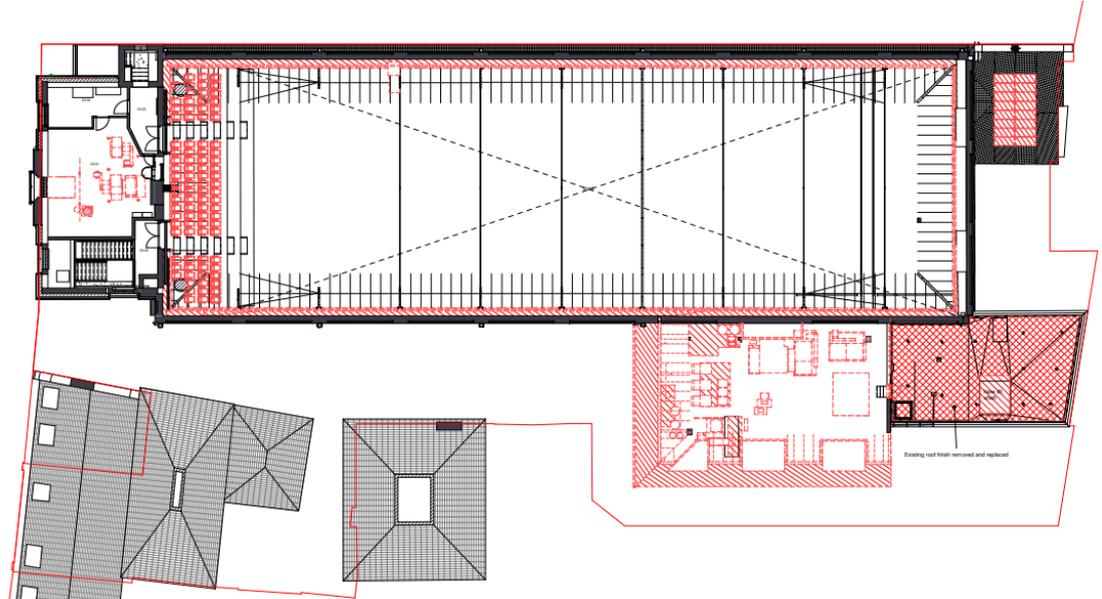


Third Floor Plan

Existing & Demolition Floor Plan

Wall Type Key:

-  Existing
-  Demolition
-  Existing floor finish removed
-  Red Line Boundary

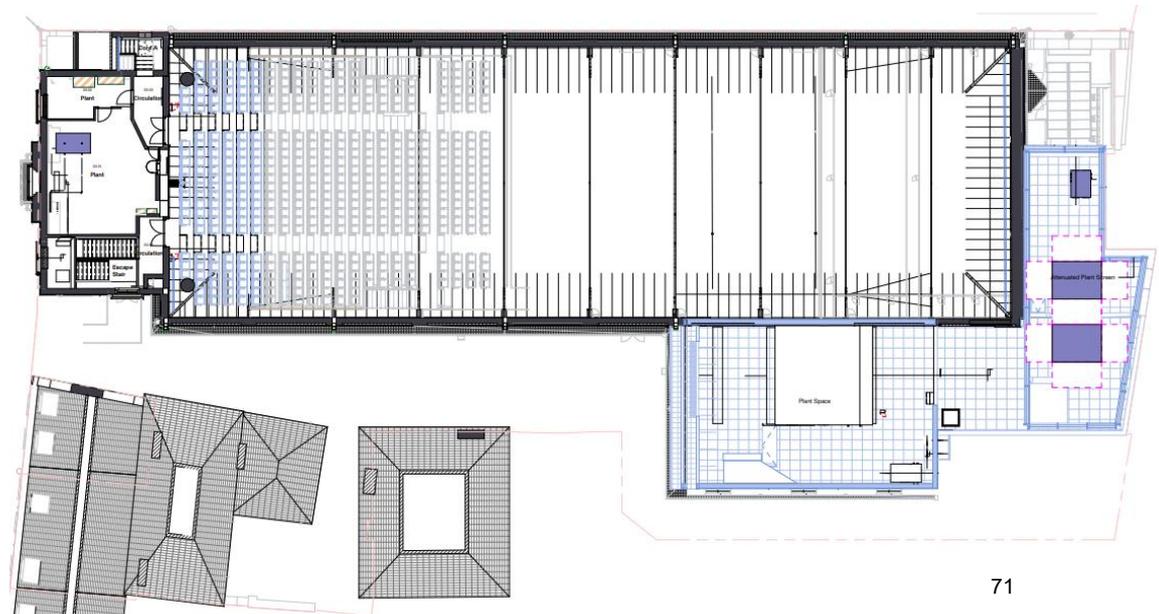


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Proposed Floor Plan

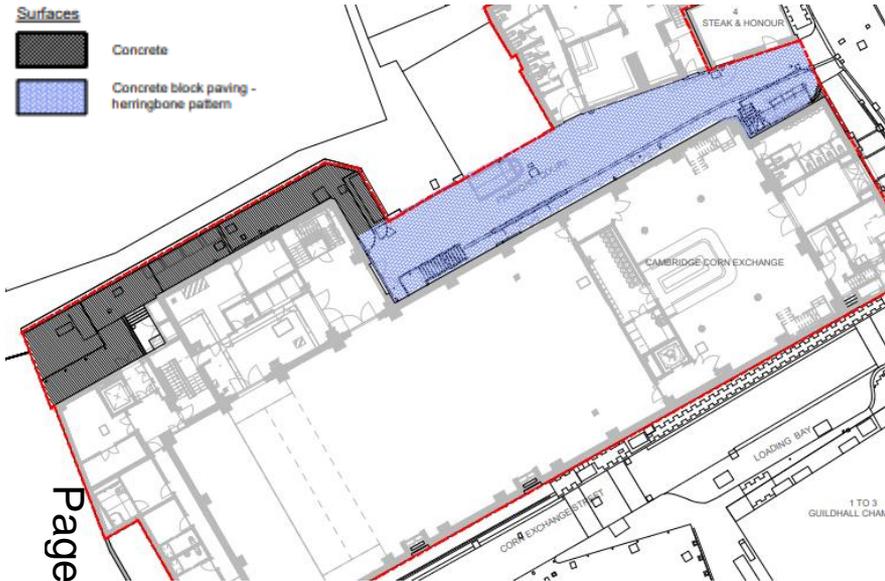
Wall Type Key:

-  Existing
-  Proposed



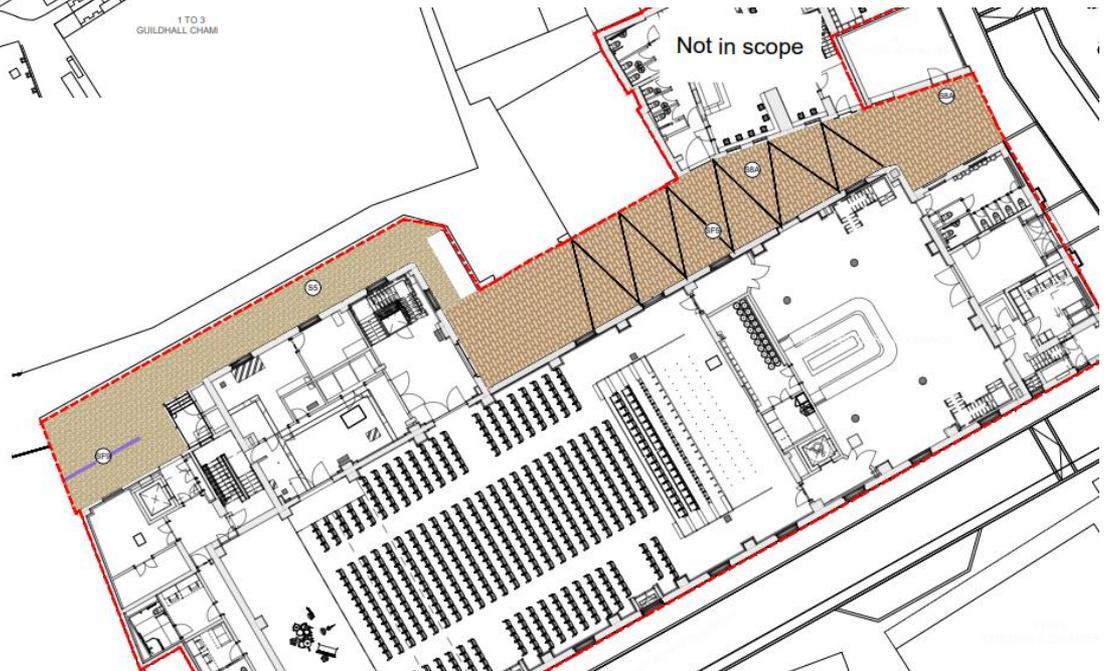
Parsons Court Plans

- Legend**
-  Application boundary
- Surfaces**
-  Concrete
 -  Concrete block paving - herringbone pattern



Page 73
Existing

- Legend**
-  Application boundary
- Surfaces**
-  S05 Resin Bound Gravel
 -  S08A York Stone Paving
- Street furniture**
-  SF05 Catenary wires for lighting and public art
 -  SF09 Railings - Existing



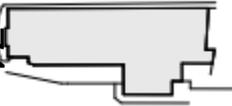
Wheeler Street Elevations

Existing & Demolition Elevation

Wall Type Key:

-  Existing
-  Demolition
-  Roof finish demolished

Page 74



Proposed Elevation

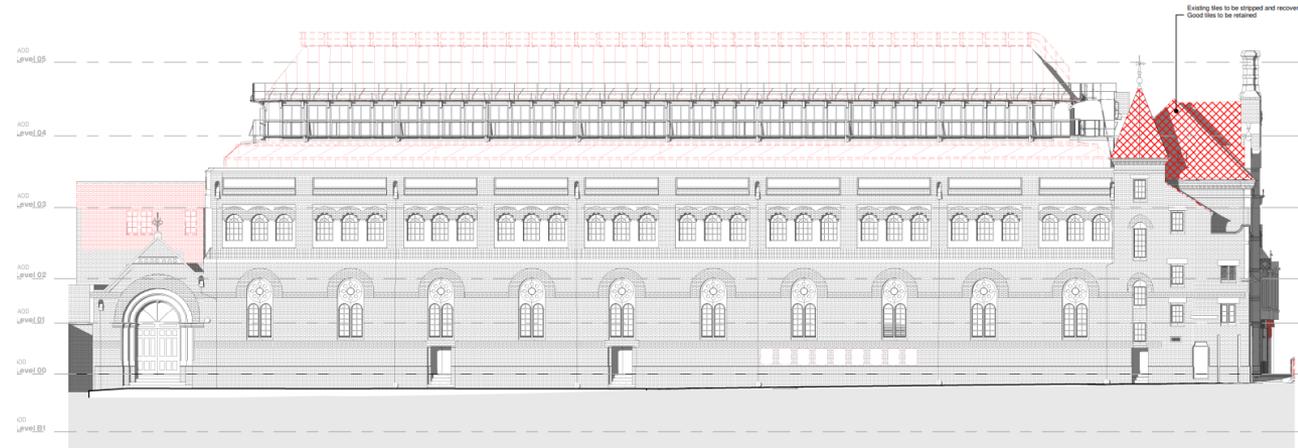


Corn Exchange Street Elevation

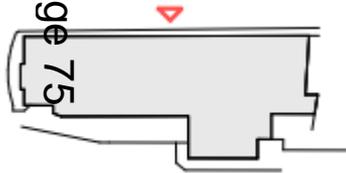
Existing & Demolition Elevation

Wall Type Key:

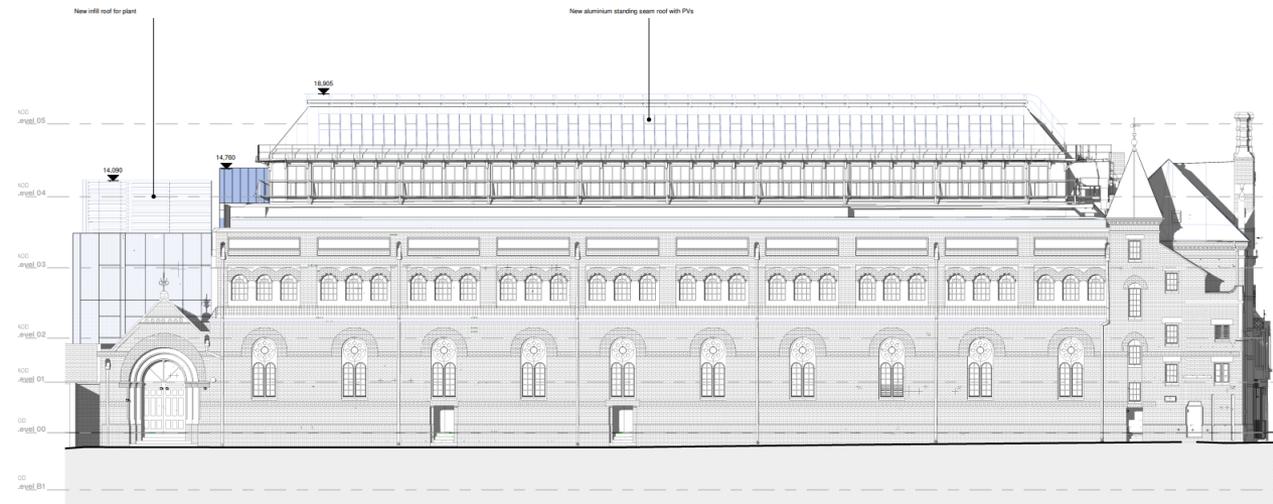
- Existing
- Demolition
- Roof finish demolished



Page 75



Proposed Elevation



Parsons Court Elevations – Corn Exchange

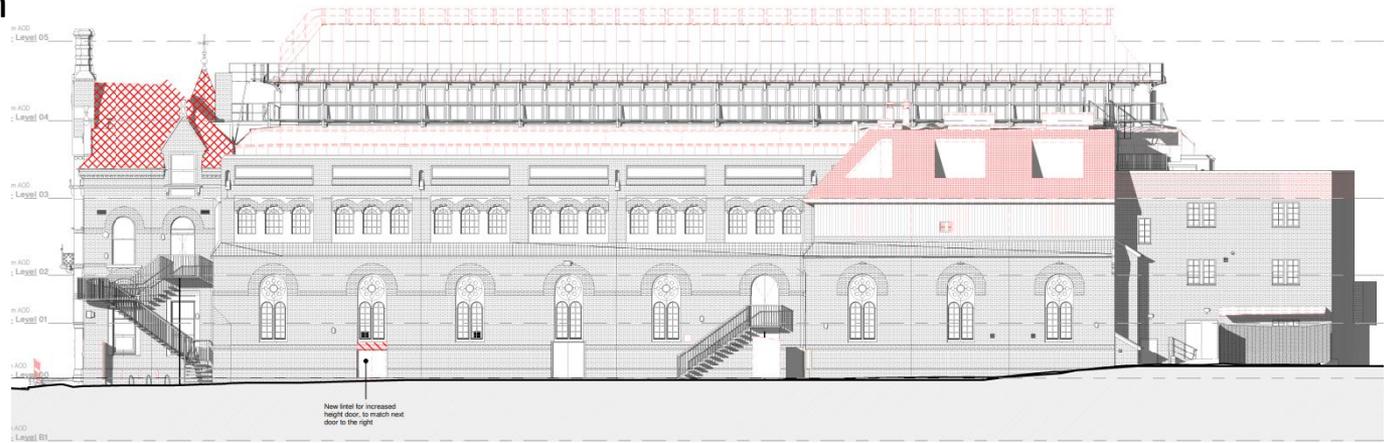
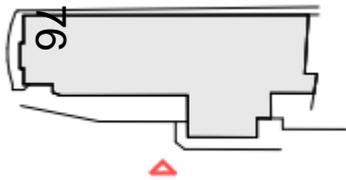
Existing & Demolition Elevation

Wall Type Key:

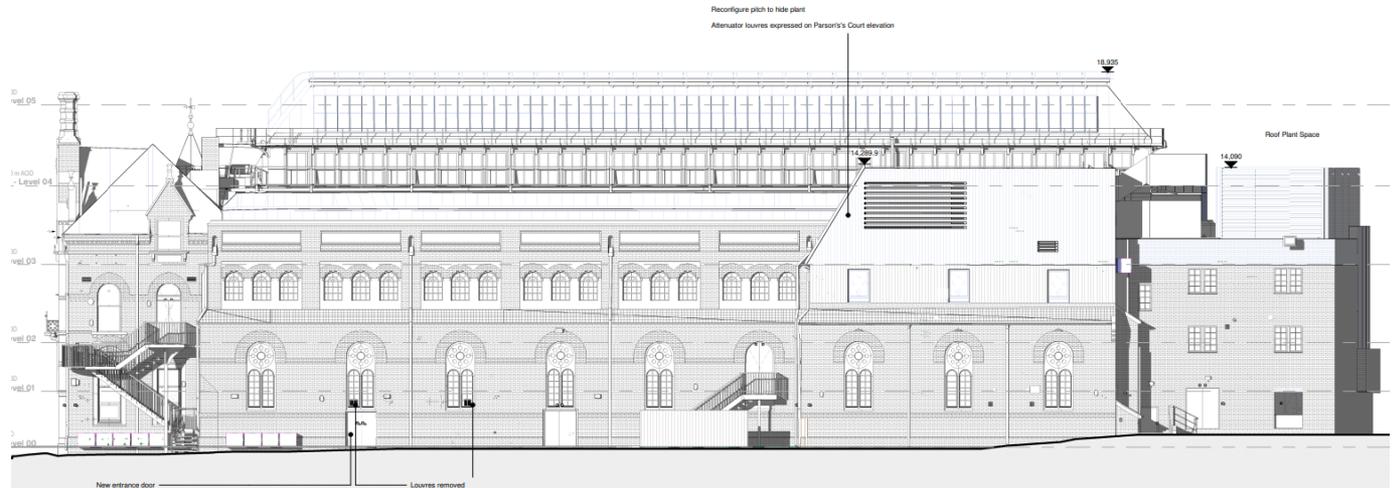
-  Existing
-  Demolition
-  Roof finish demolished

Page

76



Proposed Elevation



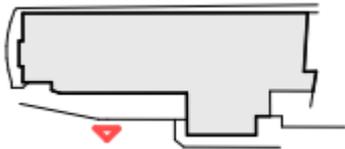
Parson Court Elevations - 2 Wheeler St/ 3 Parsons Ct

Existing & Demolition Elevation

Wall Type Key:

- Existing
- Demolition
- Roof finish demolished

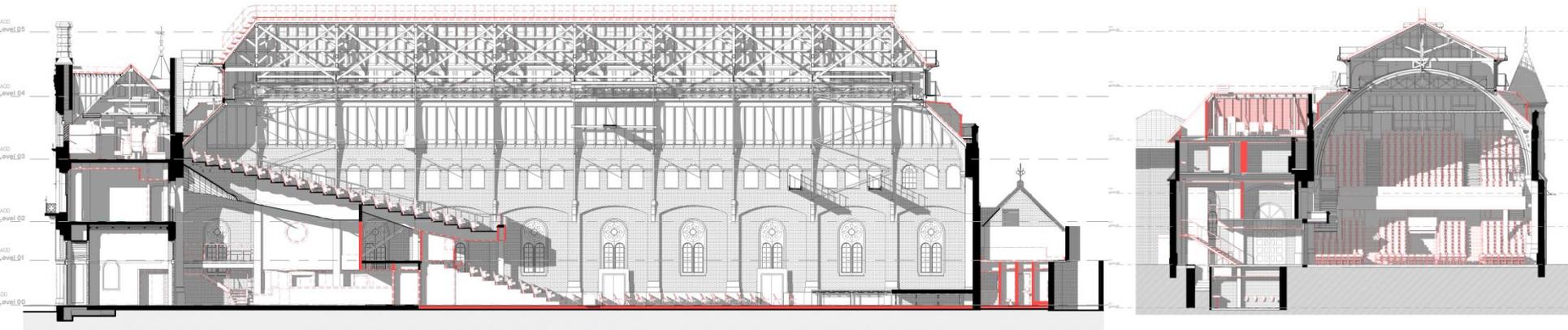
Page 77



Proposed Elevation



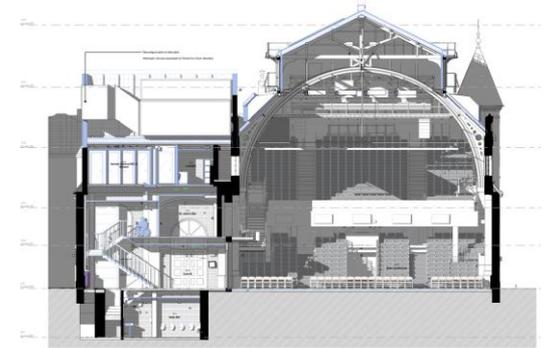
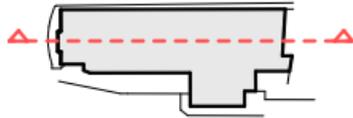
Corn Exchange Sections



Existing
Page 78



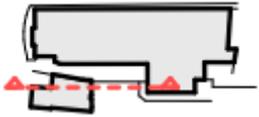
Proposed



Wall Type Key:



Parsons Court Sections

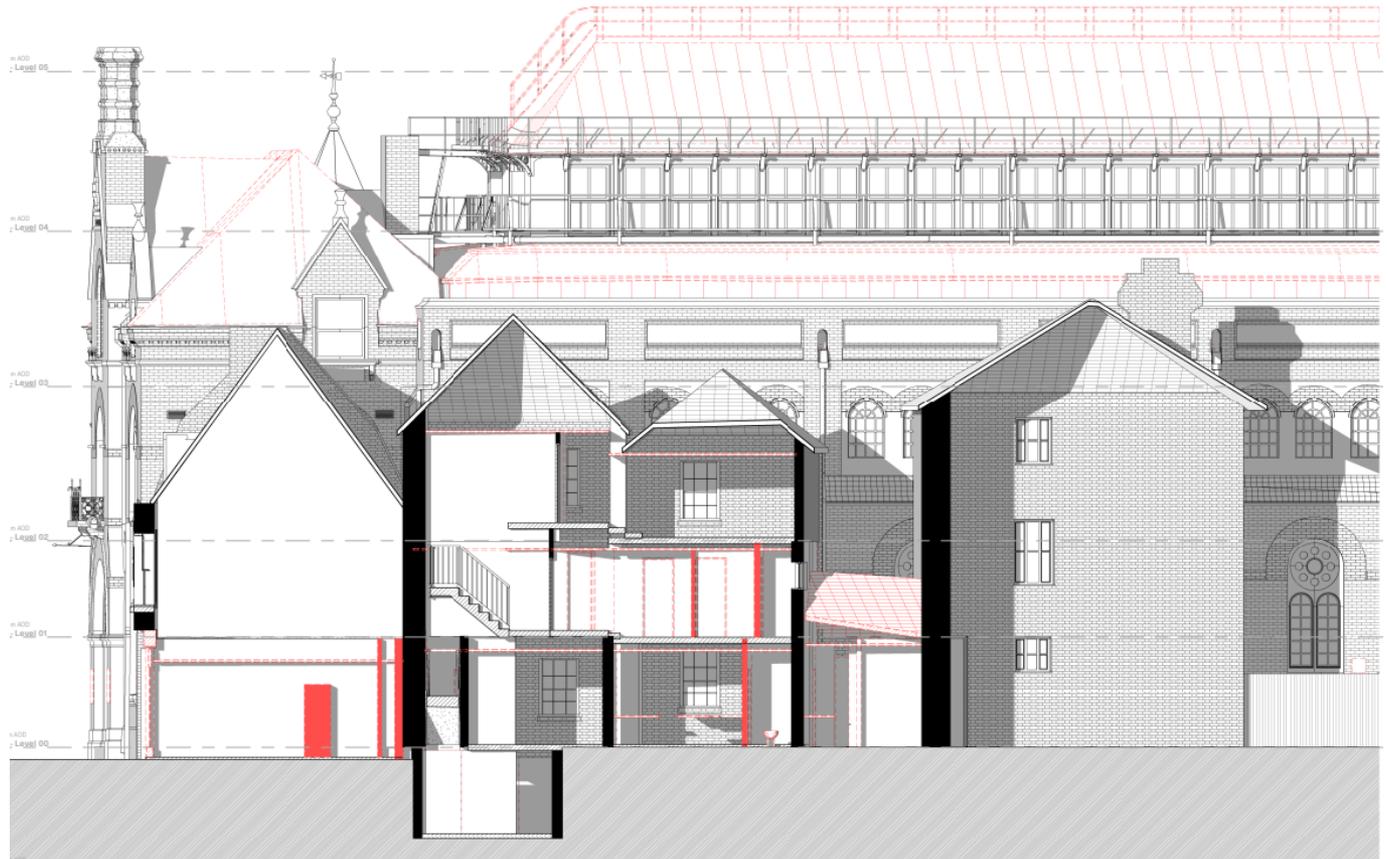


Existing Section

Wall Type Key:

- Existing
- Demolition
- Roof finish demolished

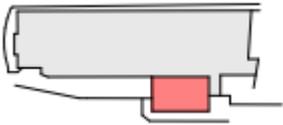
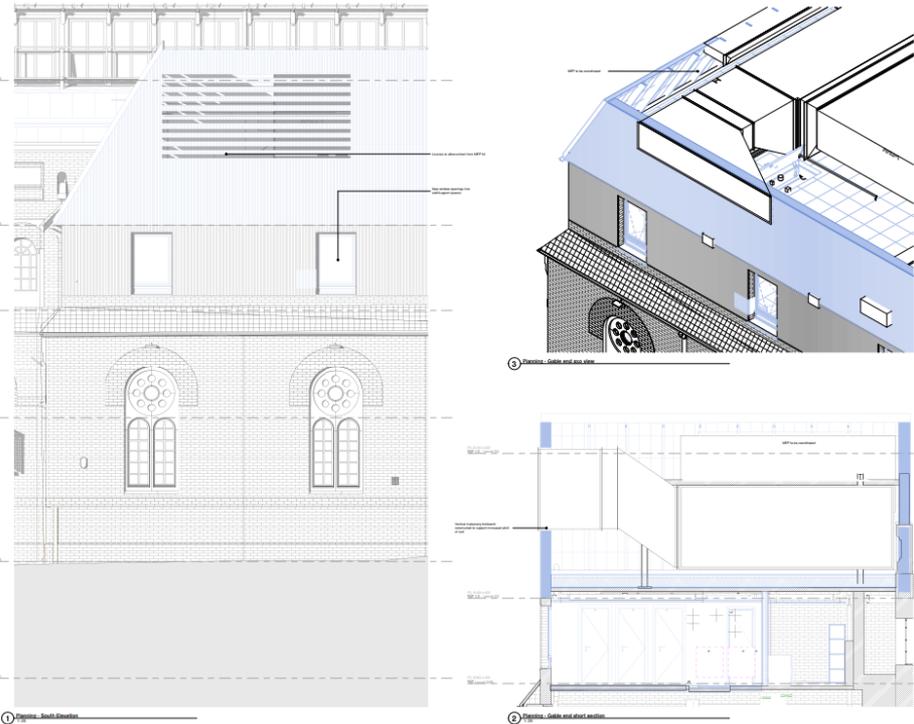
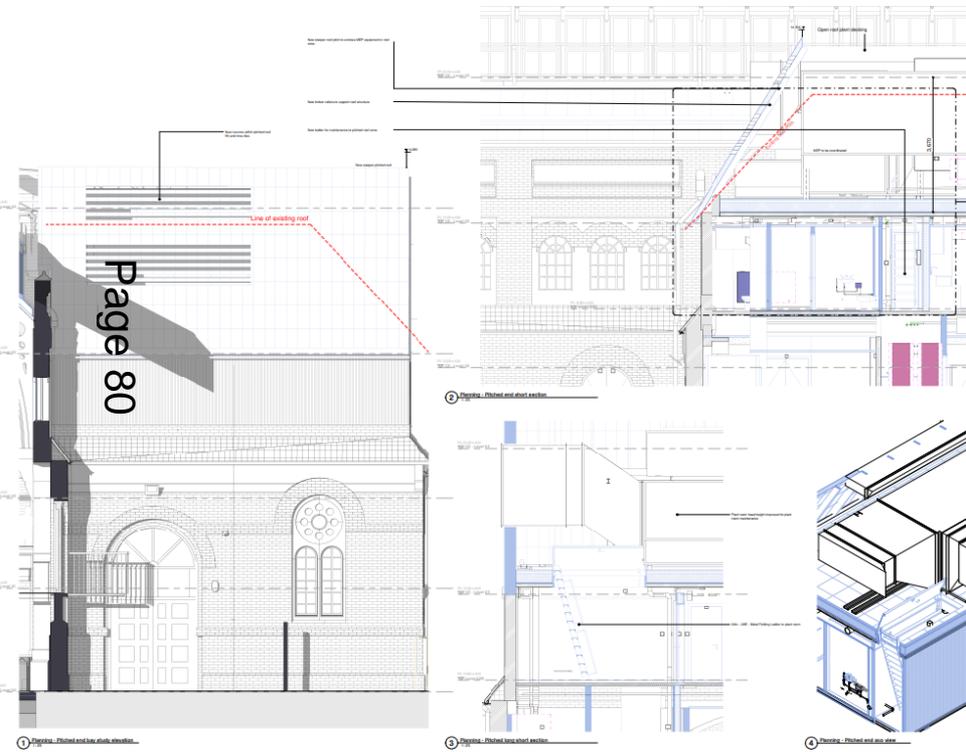
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CE – Parsons Court Roof Studies

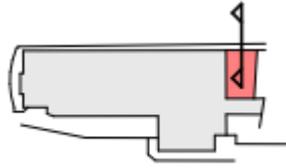
Pitched Roof (Front)

Gable End Roof (Side)

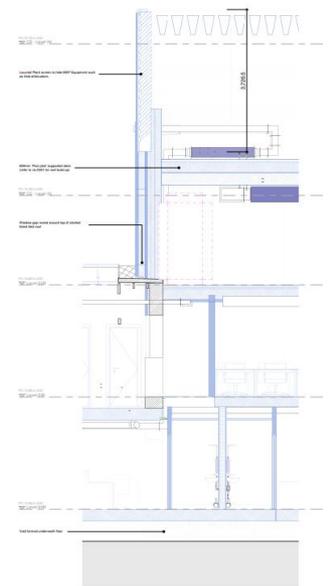
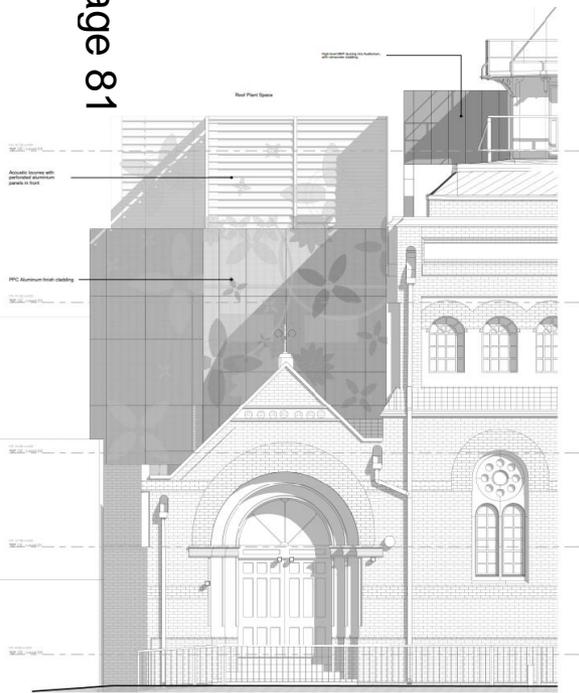
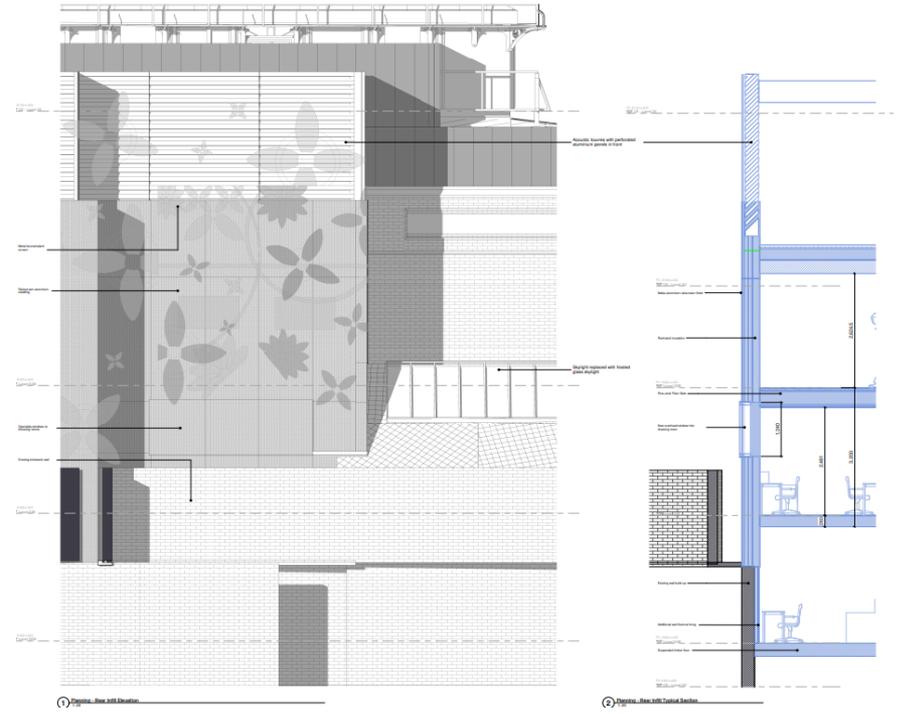


CE – Rear Infill Bay Studies

Rear



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Side

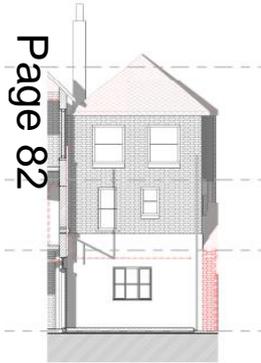
Internal Parsons Court Extension



sf/yard South Elevation



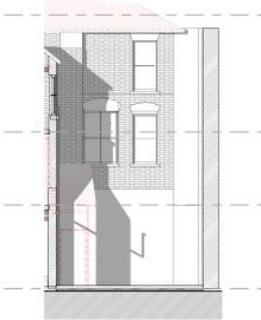
rd South Elevation



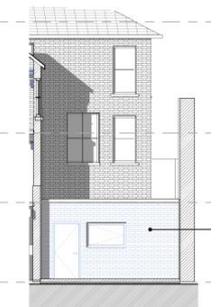
sf/yard West Elevation



rd West Elevation



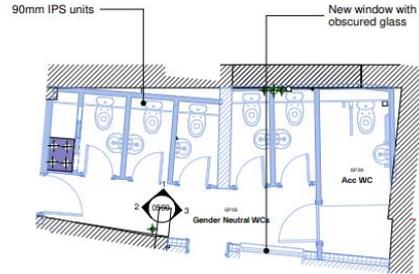
- Existing Courtyard North Elevation



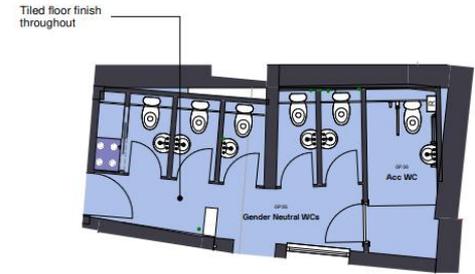
Proposed Courtyard North Elevation

Existing Elevations

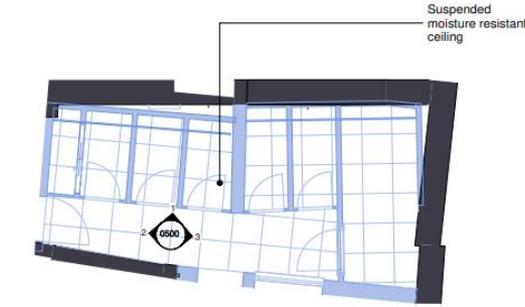
Proposed Elevations



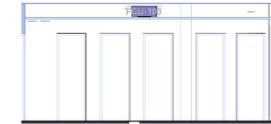
4 Planning - Ground Floor Parson's Court WC Provision
1:50



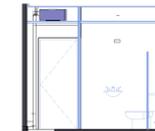
5 Planning - Ground Floor Parson's Court WC Provision - Floor Finishes
1:50



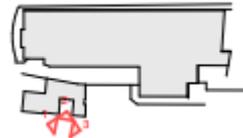
6 Planning - Ground Floor Parson's Court WC Provision - RCP
1:50



1 Planning - Ground Floor Parson's Court WC Provision - Elevation 1
1:50



2 Planning - Ground Floor Parson's Court WC Provision - Elevation 2
1:50

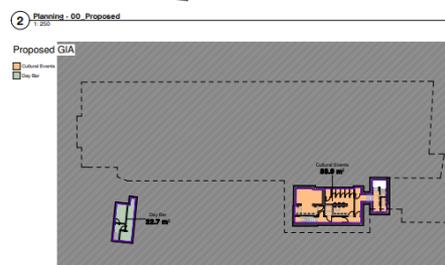
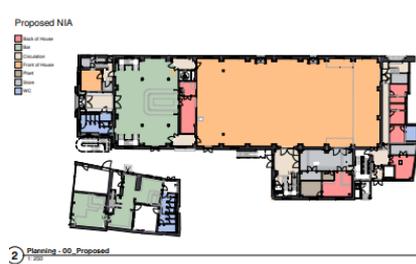
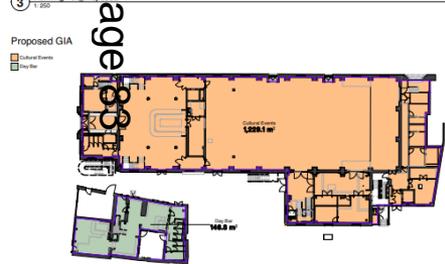
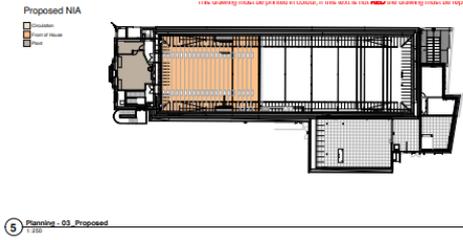
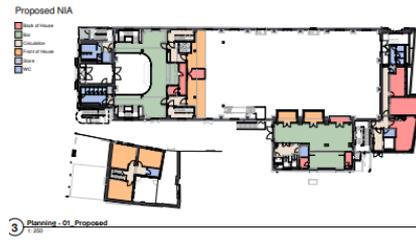
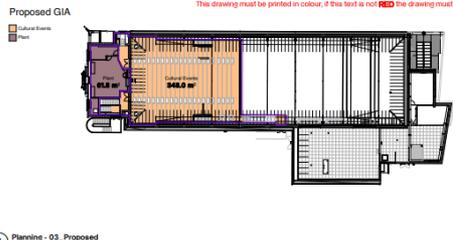
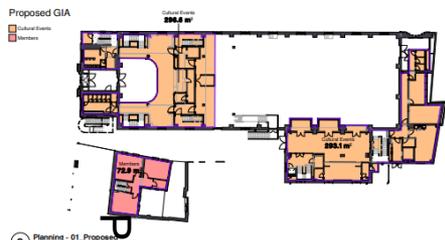


3 Planning - Ground Floor Parson's Court WC Provision - Elevation 3
1:50

Proposed Schedules

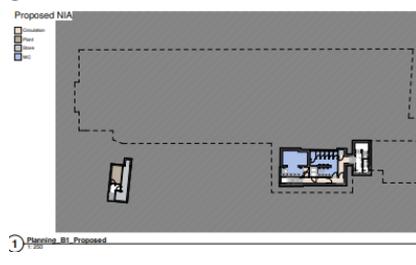
Proposed GIA

Proposed NIA



Proposed GIA
1:300

Corn Exchange GIA Proposed		No3 Parson's Court GIA Proposed	
Area	Name	Area	Name
B1	89.8 m ² Cultural Events	B1	22.8 m ² Day Bar
B0	1,226.1 m ² Cultural Events	B0	146.8 m ² Day Bar
B2	585.8 m ² Cultural Events	B2	73.0 m ² Members
B3	257.5 m ² Plant	B3	73.1 m ² Members
B4	348.1 m ² Cultural Events	B4	315.6 m ²
B5	61.3 m ² Plant		
	2,670.4 m ²		



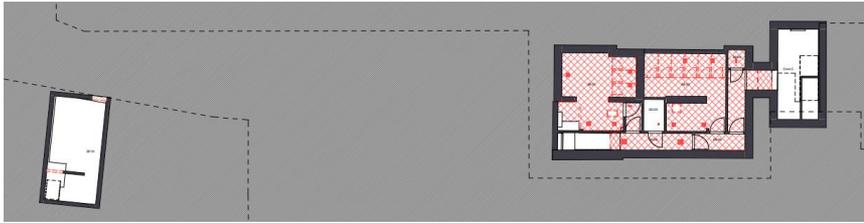
Proposed NIA
1:300

Corn Exchange NIA Proposed		Corn Exchange NIA Proposed		No3 Parson's Court NIA Proposed	
Area	Turnover Type	Area	Turnover Type	Area	Use
B1	118.0 m ² Circulation	B2	116.7 m ² Back of House	B1	6.5 m ² Plant
B2	1.0 m ² Plant	B3	24.8 m ² Circulation	B2	30.8 m ² Bar
B3	42.2 m ² WC	B4	62.3 m ² Front of House	B3	35.5 m ² Bar
B4	130.1 m ² Back of House	B5	24.8 m ² Bar	B4	25.7 m ² WC
B5	118.9 m ² Circulation	B6	13.9 m ² Bar	B5	9.5 m ² Circulation
B6	257.4 m ² Front of House	B7	25.1 m ² WC	B6	51.7 m ² Front of House
B7	14.7 m ² Bar	B8	250.8 m ² Front of House	B7	4.8 m ² WC
B8	22.4 m ² WC	B9	52.2 m ² Plant	B8	7.4 m ² Circulation
B9	22.4 m ² WC	B10	2,216.3 m ²	B9	4.3 m ² Front of House
B10	85.5 m ² Back of House			B10	264.2 m ² WC
B11	130.1 m ² Bar				
B12	118.9 m ² Circulation				
B13	257.4 m ² Front of House				
B14	14.7 m ² Bar				
B15	22.4 m ² WC				

Note on Area Measurement:
These areas have been prepared for our client, Cambridge City Council, and are approximate only and have been measured from preliminary drawings. They are not intended to be used for any other purpose. They are measured and calculated generally in accordance with NIA, Code of Practice, 2015 and will have been rounded to two decimal places.
• Circulation between workspaces and storage to which may affect the stated areas.
• Walls, area 20% are often rounded down to nearest 0.1 m².

LBC Plans Only

RCPs – Basement/Ground/First



Existing & Demolition Basement

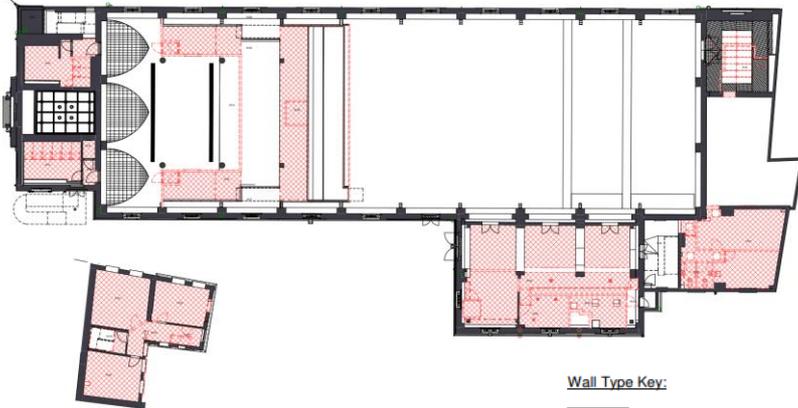


Proposed Basement



Existing & Demolition Ground

Proposed Ground



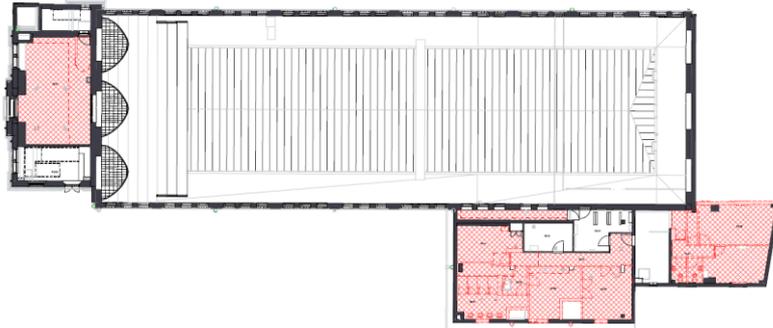
- Wall Type Key:**
- Existing
 - Proposed ceiling demolition

- Suspended plasterboard ceiling
- Suspended acoustic ceiling
- Suspended moisture resistant ceiling
- Suspended hygienic ceiling

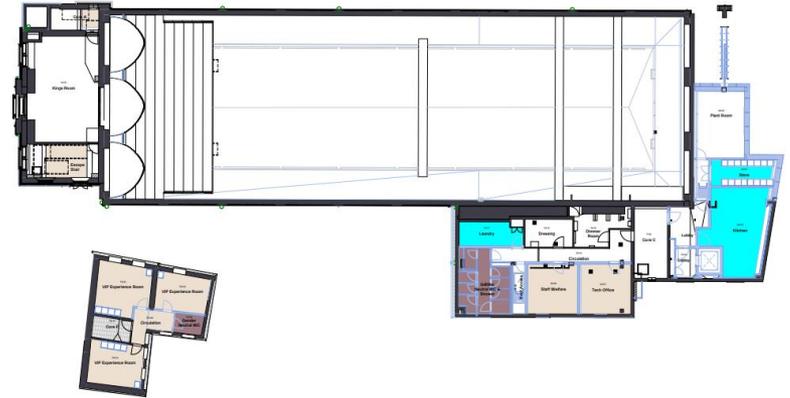
Existing & Demolition First

Proposed First

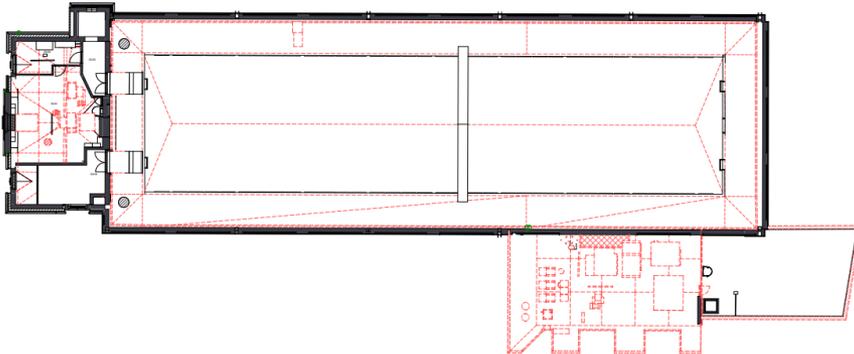
RCPs – Second/Third



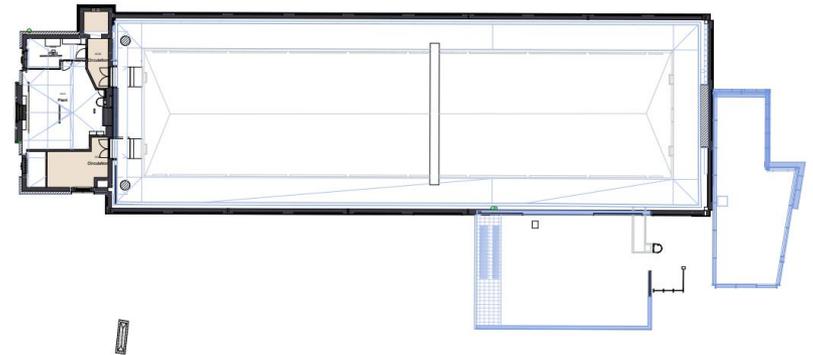
Existing & Demolition Second



Proposed Second



Existing & Demolition Third



Proposed Third

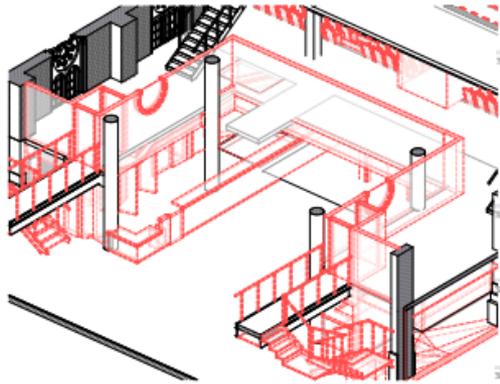
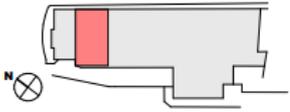
Wall Type Key:

-  Existing
-  Proposed ceiling demolition

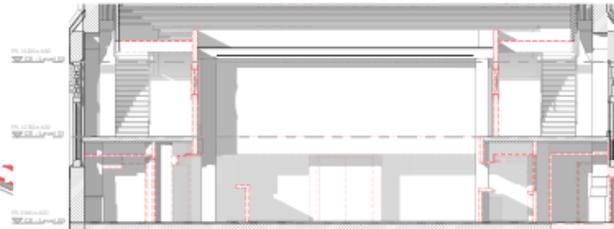
-  Suspended plasterboard ceiling
-  Suspended acoustic ceiling
-  Suspended moisture resistant ceiling
-  Suspended hygienic ceiling

Page 86

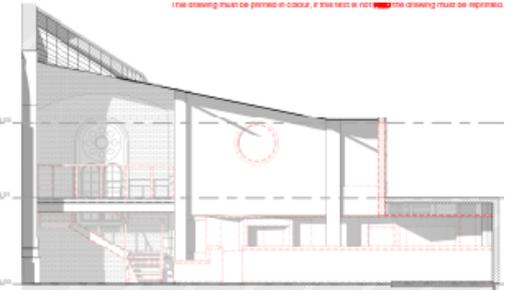
CE – Existing GF Bar and Foyer



Page 87



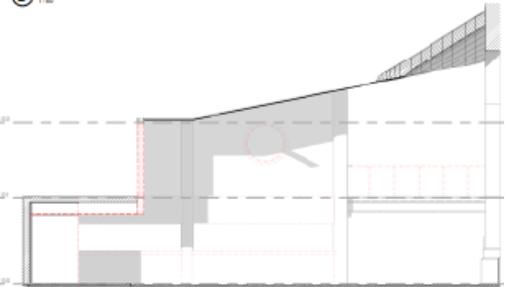
B Existing - Bar & Foyer Existing Elevation B



D Existing - Bar & Foyer Existing Elevation D

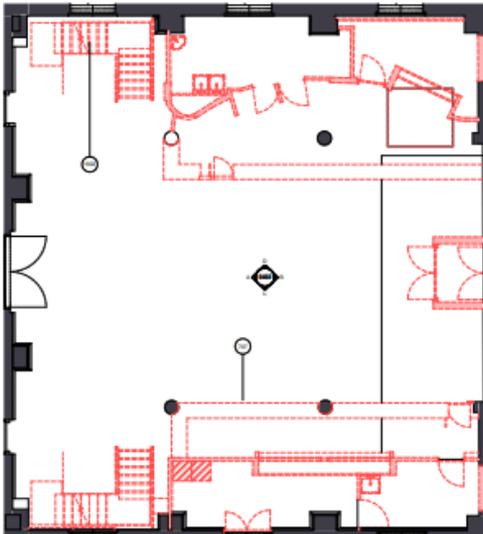


A Existing - Bar & Foyer Existing Elevation A

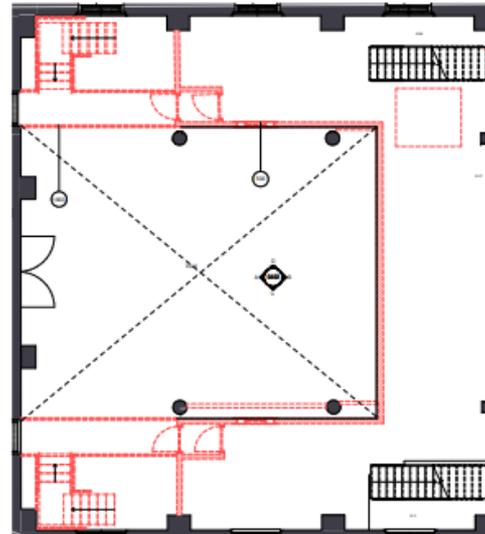


C Existing - Bar & Foyer Existing Elevation C

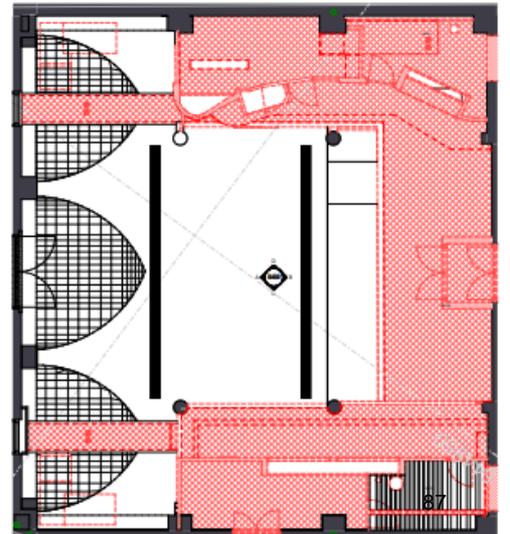
1 Existing - Key Rooms - FOH - Existing GF Bar & Foyer Ass.



2 Existing - Key Rooms - FOH - Existing GF Bar & Foyer Plan

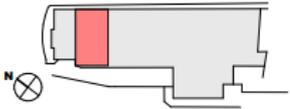


4 Existing - Key Rooms - FOH - Existing M Bar & Foyer Plan



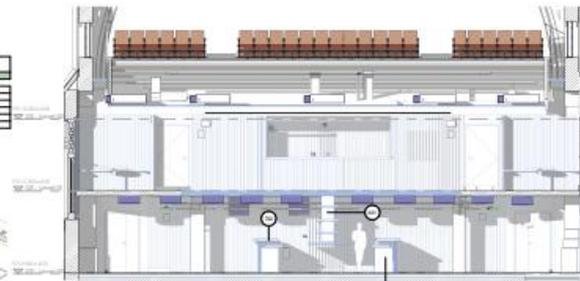
5 Existing - Key Rooms - FOH - GF Bar & Foyer Ass. - Existing SCP

CE – Proposed GF Bar and Foyer

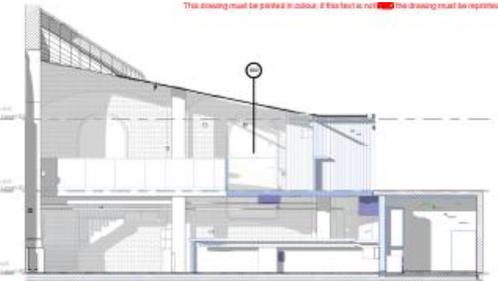


GF Bar Comments

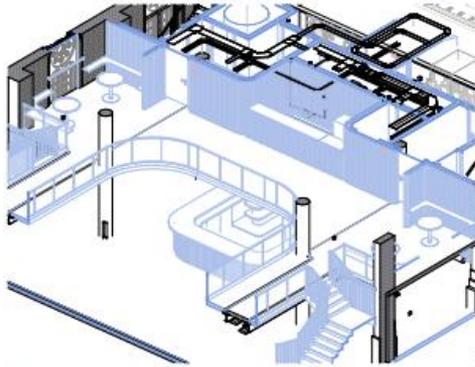
1. The bar area is proposed to be located on the ground floor of the building.
2. The bar area is proposed to be located on the ground floor of the building.
3. The bar area is proposed to be located on the ground floor of the building.
4. The bar area is proposed to be located on the ground floor of the building.
5. The bar area is proposed to be located on the ground floor of the building.
6. The bar area is proposed to be located on the ground floor of the building.
7. The bar area is proposed to be located on the ground floor of the building.
8. The bar area is proposed to be located on the ground floor of the building.
9. The bar area is proposed to be located on the ground floor of the building.
10. The bar area is proposed to be located on the ground floor of the building.



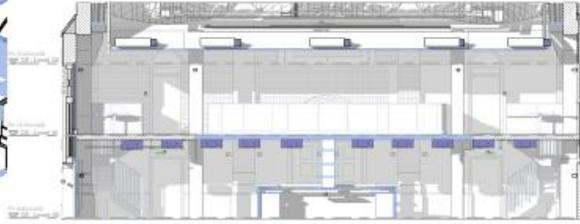
B) Shapiro - Bar & Foyer Proposed Elevation B
1/18



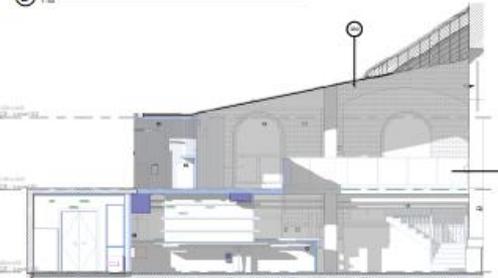
D) Shapiro - Bar & Foyer Proposed Elevation D
1/18



1) Shapiro - Key Rooms - FGH - Proposed GF Bar & Foyer Ass.
1/18



A) Shapiro - Bar & Foyer Proposed Elevation A
1/18

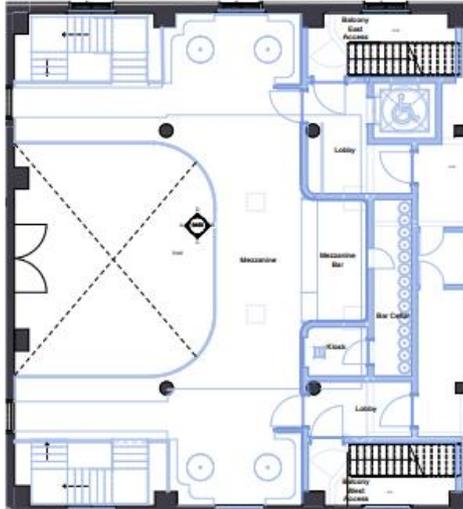


C) Shapiro - Bar & Foyer Proposed Elevation C
1/18

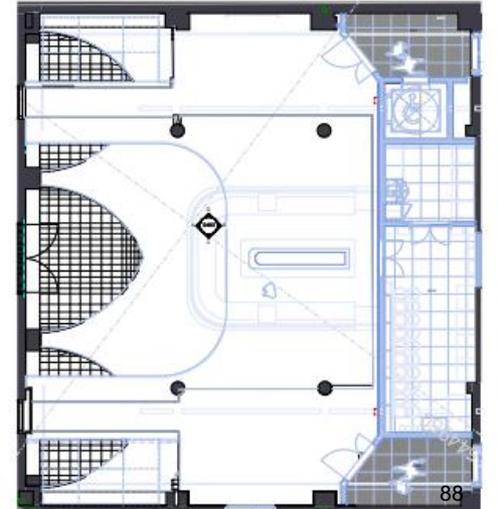
Page 88



2) Shapiro - Key Rooms - FGH - Proposed GF Bar & Foyer Plan
1/18

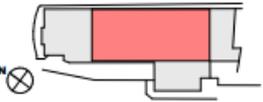


4) Shapiro - Key Rooms - FGH - Proposed ME Bar & Foyer Plan
1/18



3) Shapiro - Key Rooms - FGH - GF Bar & Foyer Ass. - Proposed RCP
1/18

CE – Auditorium



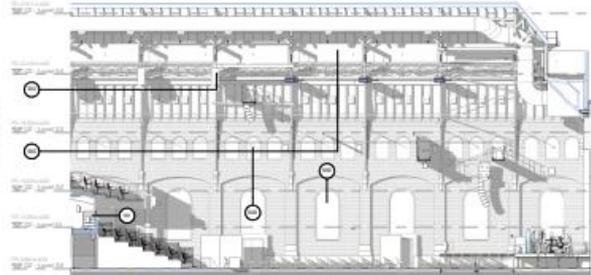
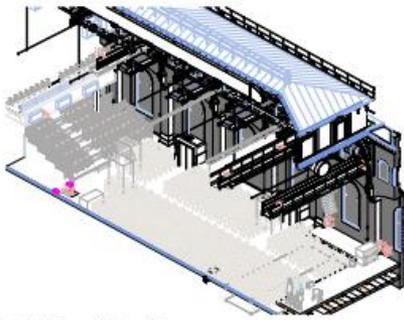
RCP - Auditorium Summary	
0220 - Proposed Floor Finishes	
0230 - Proposed Ceiling Finishes	
0340 - External Glazing	

Proposed Works:

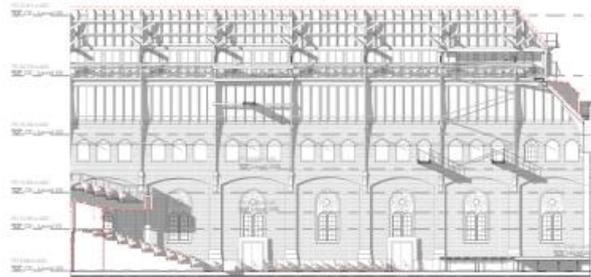
- Demolition
- Existing
- Proposed

For information on:

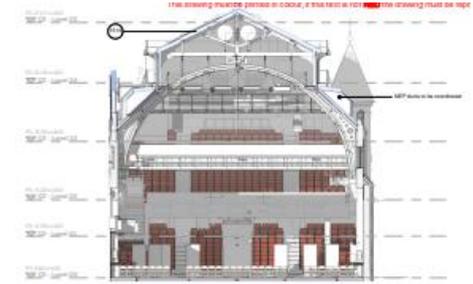
- Floors/ floor build ups, please refer to series: 0220 - Proposed Floor Finishes
- Ceiling/ceiling build ups, please refer to series: 0230 - Proposed Ceiling Finishes
- Windows/ Proposed & Existing, please refer to series: 0340 - External Glazing



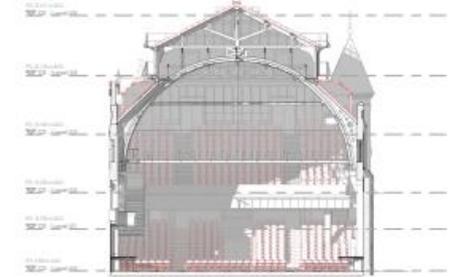
A. Planning - Proposed Auditorium Elevation A



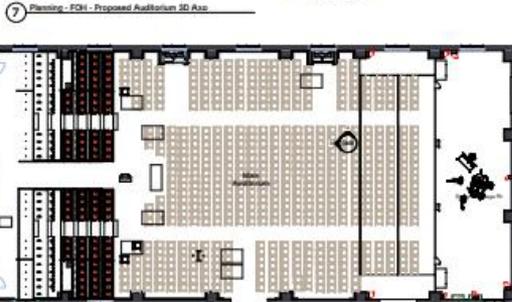
A. Planning - Existing Auditorium Elevation A



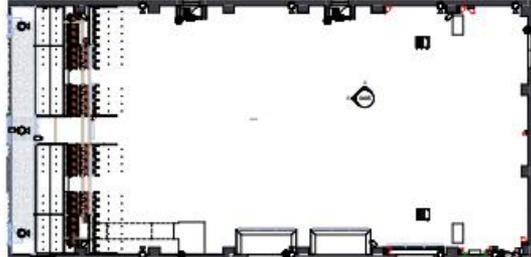
B. Planning - Proposed Auditorium Elevation B



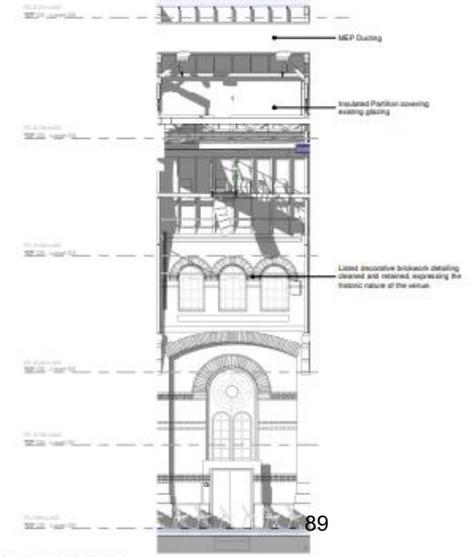
B. Planning - Existing Auditorium Elevation B



1. Planning - Key Rooms - FDH - Proposed Auditorium 3D Axo



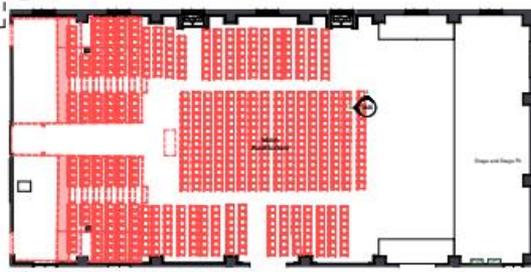
2. Planning - Key Rooms - FDH - Proposed Auditorium RCP



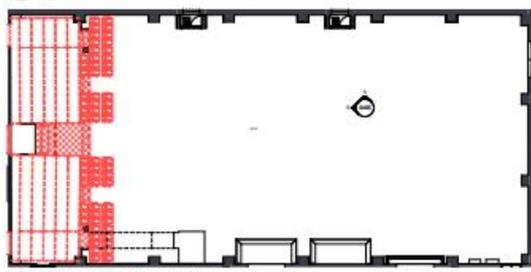
3. Planning - Listed Building Section

Existing seating removed and replaced to increase standing capacity

Decorative brickwork cleaned and retained, with new secondary glazing.



3. Planning - Key Rooms - FDH - Existing Auditorium GF Plan



4. Planning - Key Rooms - FDH - Existing Auditorium RCP

CE – Entrances

Entrance A

1) Planning - Key Rooms - FCH - Entrance A Area

Existing wall removed and replaced with new

2) Planning - Key Rooms - FCH - Entrance A - Existing Plan

3) Planning - Key Rooms - FCH - Entrance A - Proposed Plan

New infill exposed brick wall to match existing with patterned brickwork bands replicated.

Overall impression of Entrance A remains the same, with additional wall, same fixtures and fittings retained.

C

4) Planning - Key Rooms - FCH - Entrance A - Existing RCP

5) Planning - Key Rooms - FCH - Entrance A - Proposed RCP

A Planning - Entrance Elevation A

B Planning - Entrance Elevation B

C Planning - Entrance Elevation C

D Planning - Entrance Elevation D

Entrance B

6) Planning - Key Rooms - FCH - Entrance B Area

7) Planning - Key Rooms - FCH - Existing Entrance B Plan

8) Planning - Key Rooms - FCH - Proposed Exit

9) Planning - Key Rooms - FCH - Entrance B - Existing RCP

4) Planning - Key Rooms - FCH - Entrance B - Proposed RCP

C Planning - Entrance B Proposed Elevation C

D Planning - Entrance B Proposed Elevation D

C Planning - Entrance B Existing Elevation C

D Planning - Entrance B Existing Elevation D

A Planning - Entrance B Proposed Elevation A

B Planning - Entrance B Proposed Elevation B

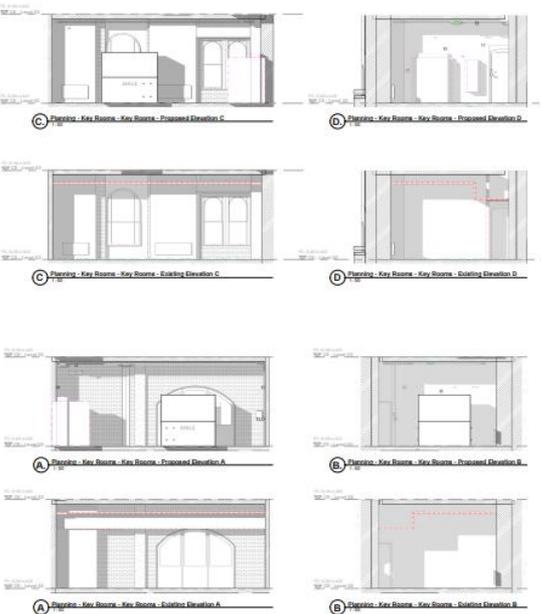
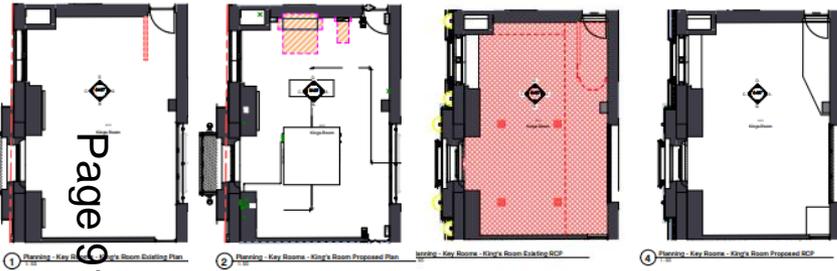
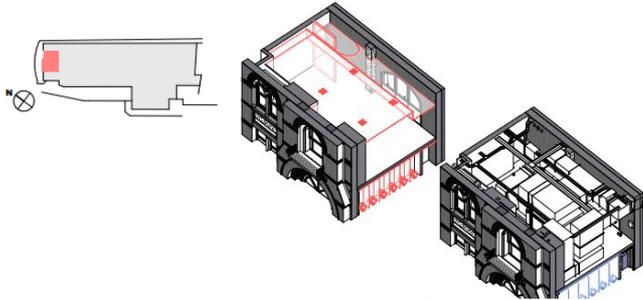
A Planning - Entrance B Existing Elevation A

B Planning - Entrance B Existing Elevation B

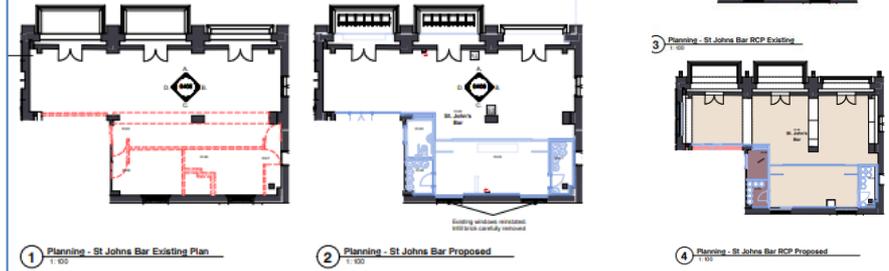
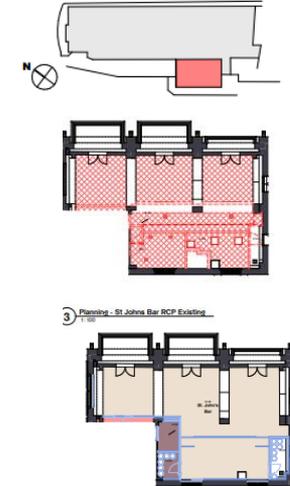
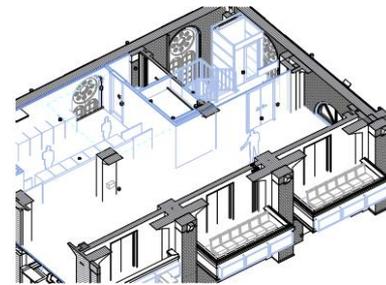
This drawing must be printed in colour, if this is not red the drawing must be reprinted

CE – Key Rooms

Kings Room (1st Floor)



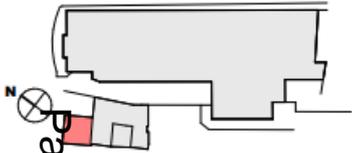
St Johns Bar (1st Floor)



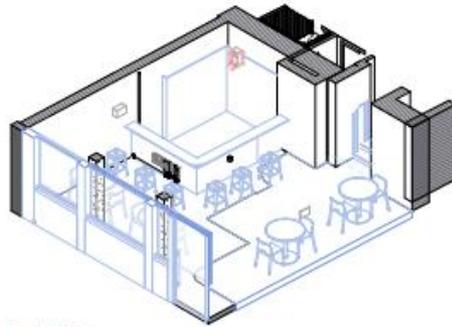
Page 91

Wheeler St/ Parsons Court Front Bar

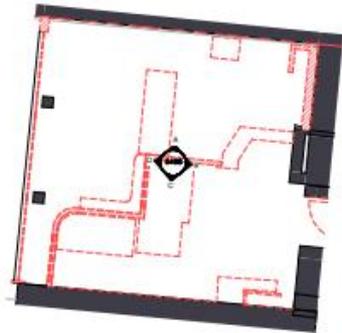
RCH - Parsons Court Front Bar Comments	
Key Notes	Keynotes Text
01	Existing floor level, structure, site, material and content
02	Existing ceiling, structure and accessories, lighting and acoustics
03	Area reserved already for parking
04	Area open with no furniture, equipment or content
05	Area for future use and other spaces



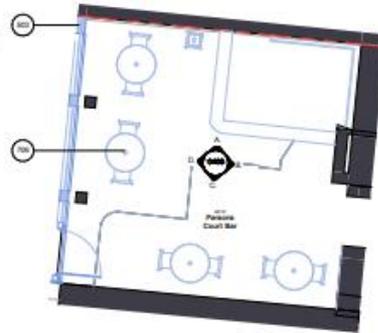
Page 92



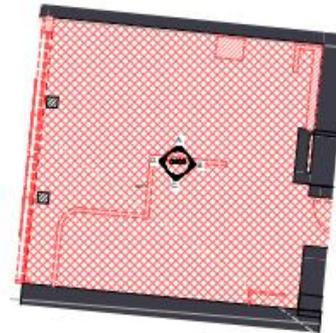
5 Planning - Parsons Court Front Bar Axo



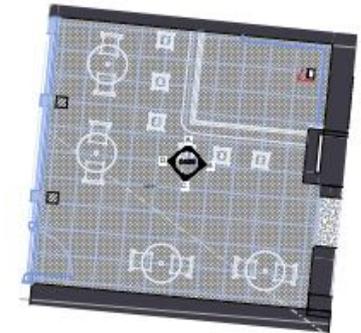
1 Planning - Key Rooms - P.Court Front Bar - Existing Plan



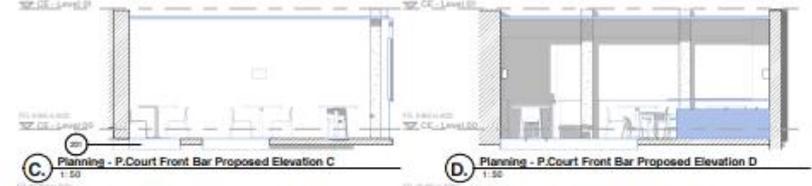
2 Planning - Key Rooms - P.Court Front Bar - Proposed Plan



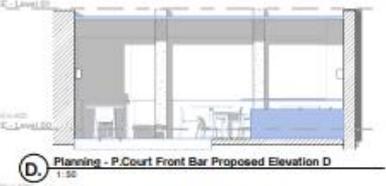
3 Planning - Key Rooms - P.Court Front Bar - Existing RCP



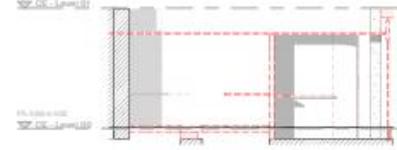
4 Planning - Key Rooms - P.Court Front Bar - Proposed RCP



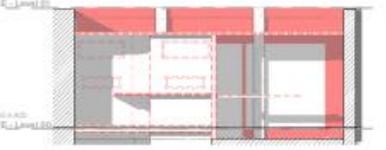
C Planning - P.Court Front Bar Proposed Elevation C



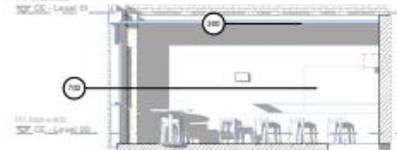
D Planning - P.Court Front Bar Proposed Elevation D



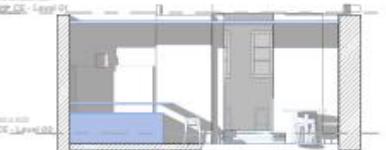
C Planning - P.Court Front Bar Existing Elevation C



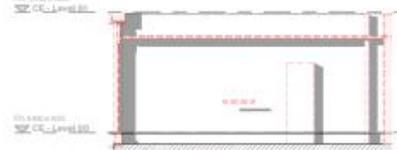
D Planning - P.Court Front Bar Existing Elevation D



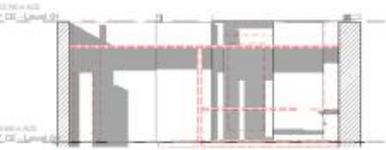
A Planning - P.Court Front Bar Proposed Elevation A



B Planning - P.Court Front Bar Proposed Elevation B



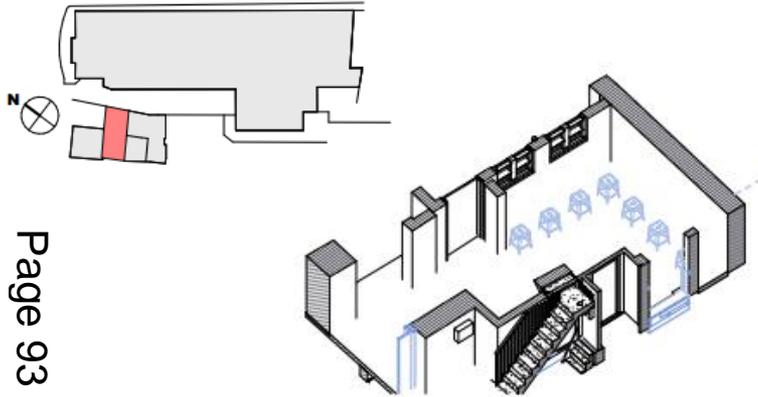
A Planning - P.Court Front Bar Existing Elevation A



B Planning - P.Court Front Bar Existing Elevation B

Wheeler St/ Parsons Court Middle Bar

RCP - Parsons Court Middle Bar Contents	
Key Value	Keyable Text
001	existing ceiling replaced with structurally loaded ceiling
002	from the tables and chairs panel

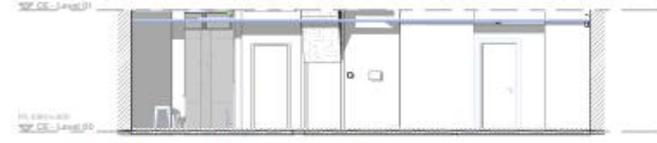


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5 Planning - Parsons Court Middle Bar Ayo



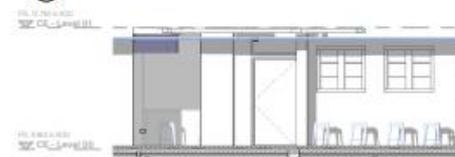
1 Planning - Key Rooms - P.Court Middle Bar - Existing Plan 1:50 2 Planning - Key Rooms - P.Court Middle Bar - Proposed Plan 1:50



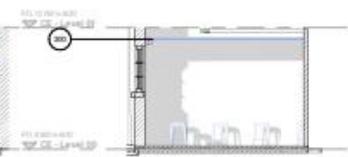
C Planning - P.Court Middle Bar Proposed Elevation C 1:50



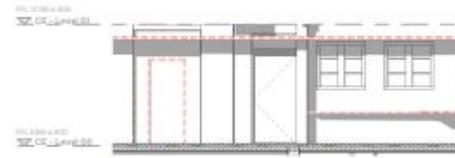
C Planning - P.Court Middle Bar Existing Elevation C 1:50



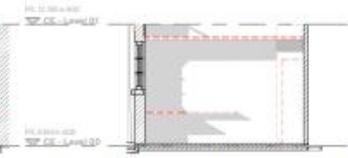
A Planning - P.Court Middle Bar Proposed Elevation A 1:50



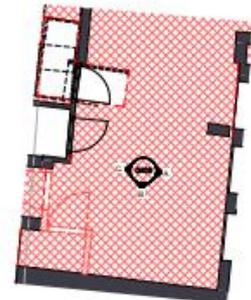
B Planning - P.Court Middle Bar Proposed Elevation B 1:50



A Planning - P.Court Middle Bar Existing Elevation A 1:50



B Planning - P.Court Middle Bar Existing Elevation B 1:50



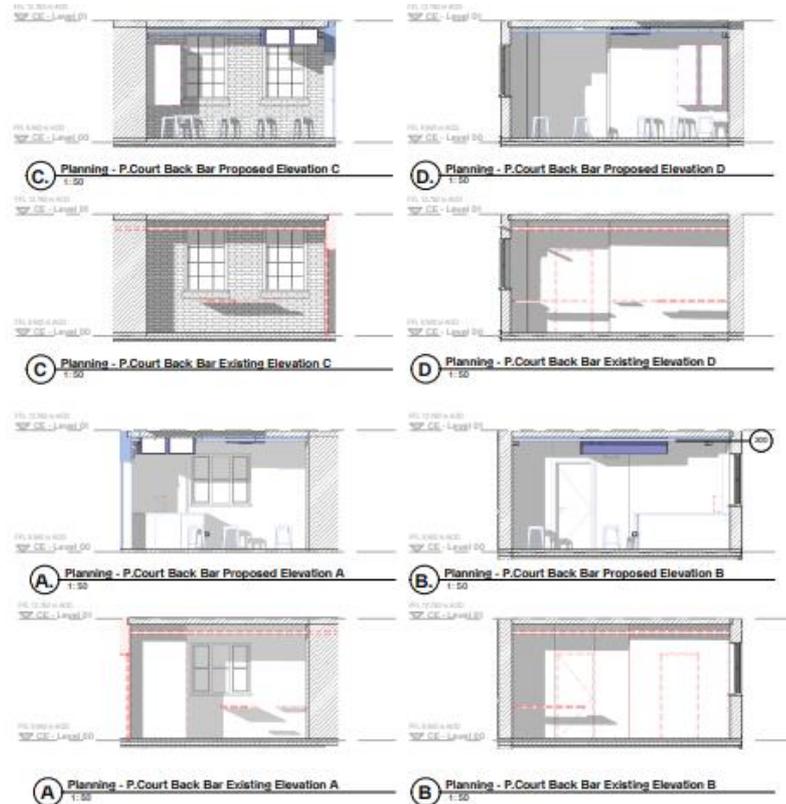
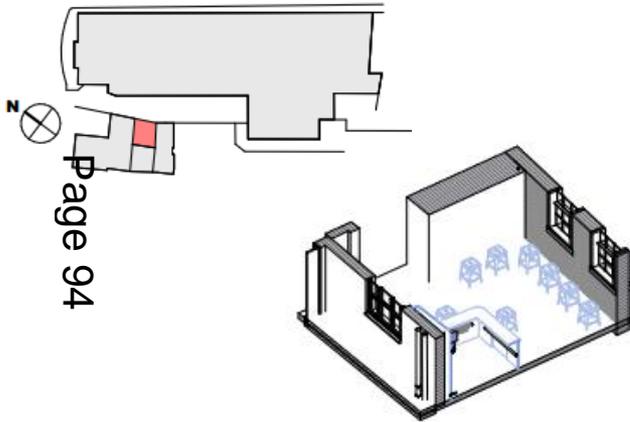
3 Planning - Key Rooms - P.Court Middle Bar - Existing RCP 1:50



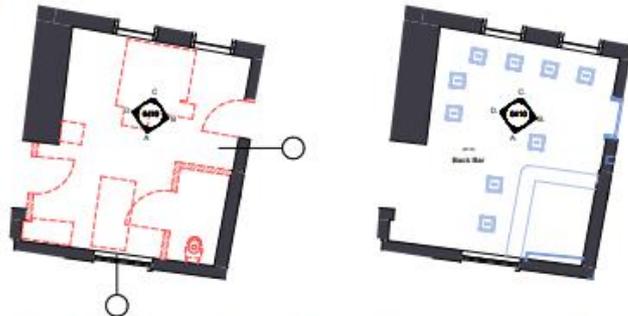
4 Planning - Key Rooms - P.Court Middle Bar - Proposed RCP 1:50

Wheeler St/ Parsons Court Back Bar

P04 - Parsons Court Back Bar Comments	
Key Value	Revised Text
	Existing ceiling required with acoustically treated ceiling



5 Planning - P.Court Back Bar Axo



1 Planning - Key Rooms - P.Court Back Bar - Existing Plan

2 Planning - Key Rooms - P.Court Back Bar - Proposed Plan



3 Planning - Key Rooms - P.Court Back Bar - Existing RCP

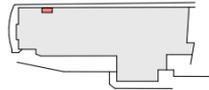


4 Planning - Key Rooms - P.Court Back Bar - Proposed RCP

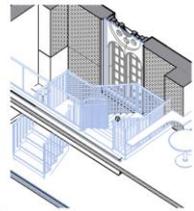
Page 94

CE – Proposed Stairs

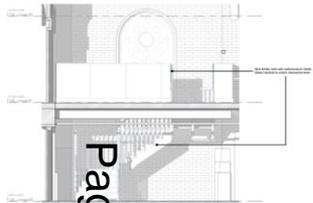
Foyer Stairs



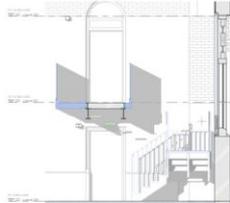
1 Proposed Foyer Stair Plan



2 Proposed Foyer Stair Section

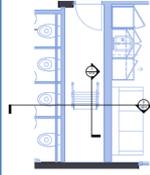
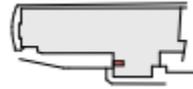


3 Proposed Foyer Stair Section

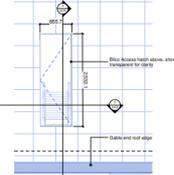


4 Proposed Foyer Stair Section

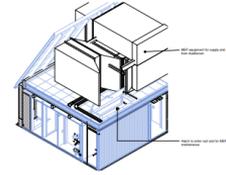
BOH L2B Stairs



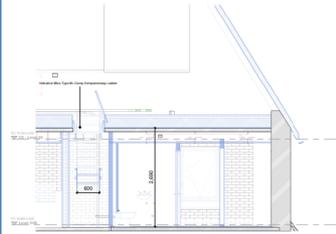
1 Proposed BOH L2B Stair Plan



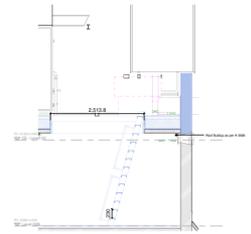
2 Proposed BOH L2B Access Detail Plan



3 Proposed BOH L2B Stair Plan

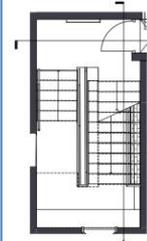
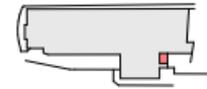


4 Proposed BOH L2B Long Section

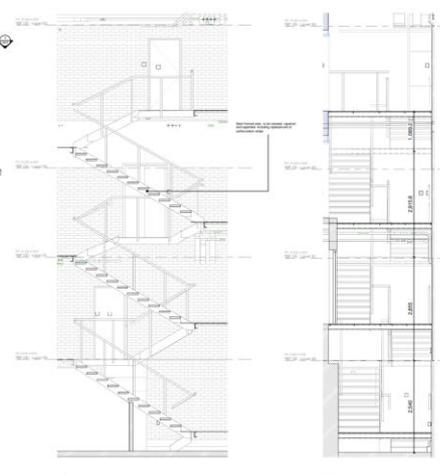


5 Proposed BOH L2B Short Section

BOH Stairs



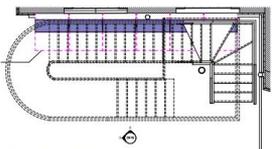
1 Proposed BOH Stair Plan



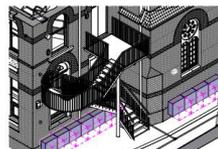
2 Proposed BOH Long Section

3 Proposed BOH Short Section

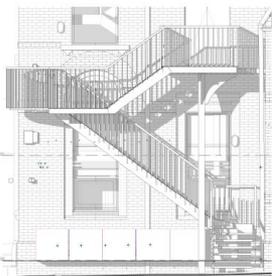
FOH External Stairs



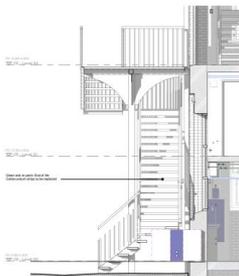
1 Proposed Existing External Stair Plan



2 Proposed FOH External Stair Section

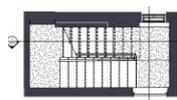
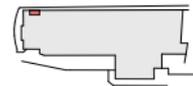


3 Proposed Existing External Stair Elevation 1

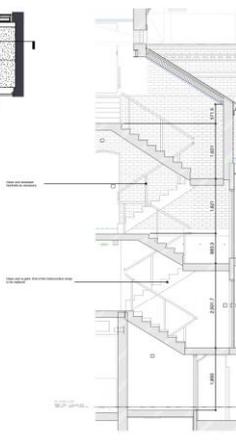


4 Proposed Existing External Stair Elevation 2

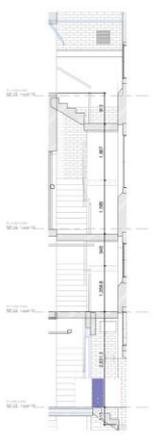
North Escape Stairs



1 Proposed Existing North Escape Stair Plan

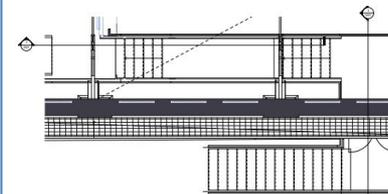
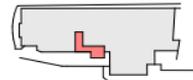


2 Proposed Existing North Escape Stair Section

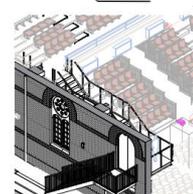


3 Proposed Existing North Escape Stair Section

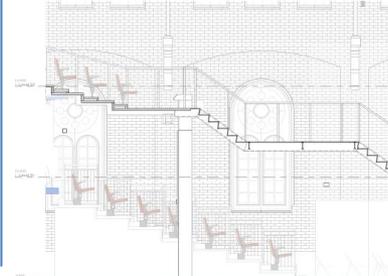
South Escape Stairs



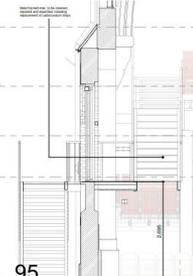
1 Proposed Existing South Escape Stair Plan



2 Proposed Existing South Escape Stair Section



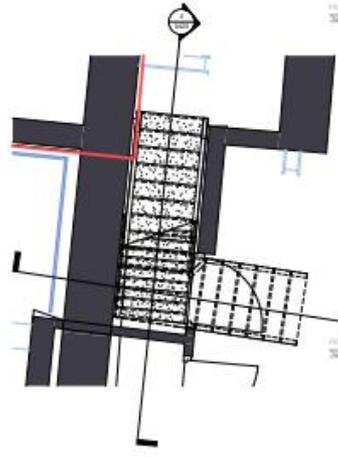
3 Proposed Existing South Escape Stair Section



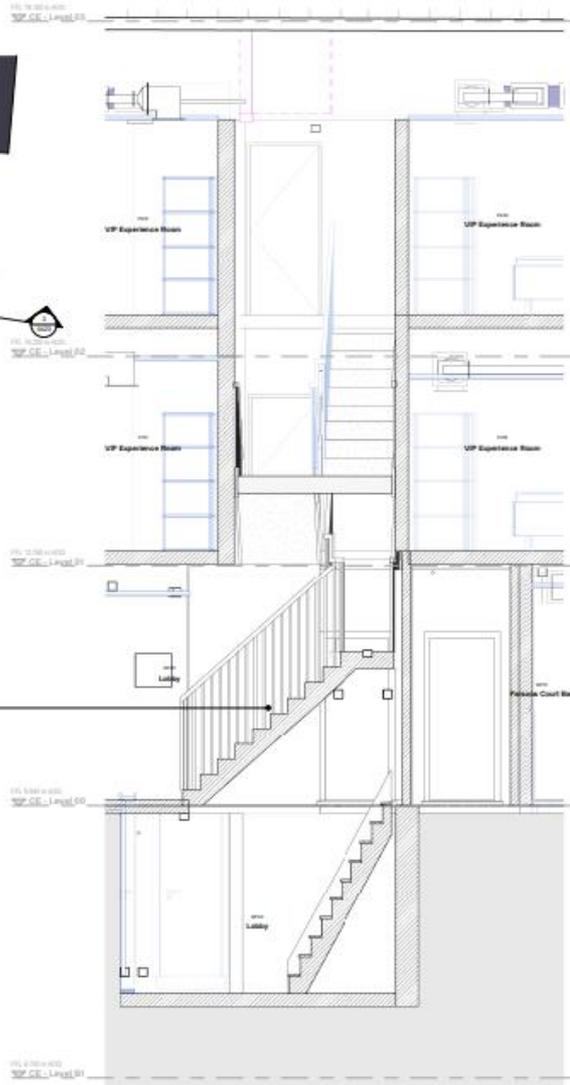
4 Proposed Existing South Escape Stair Section

Wheeler St/ Parsons Ct Stairway

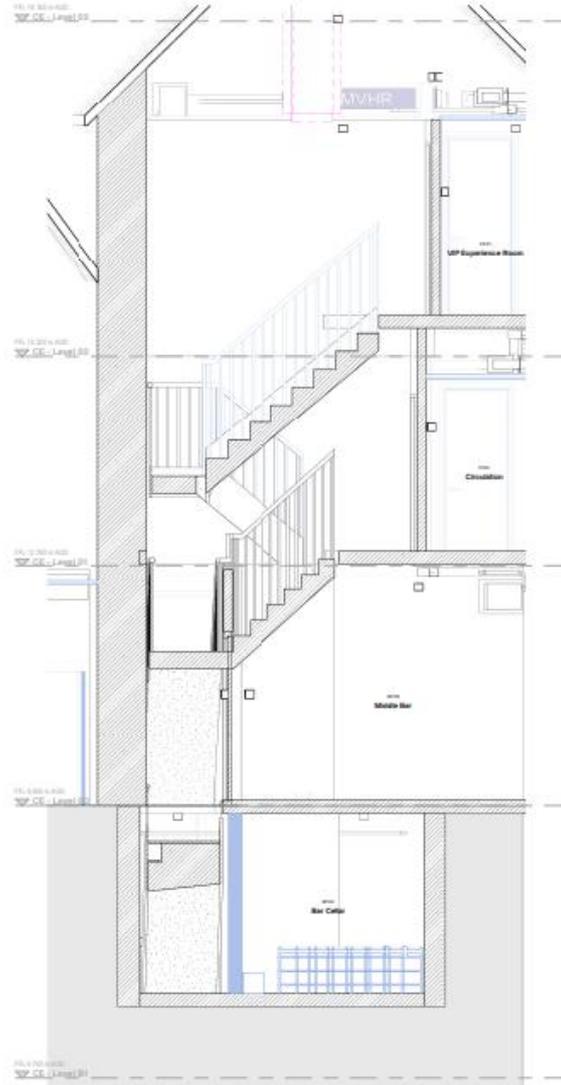
This drawing must be printed in colour, if this text is not **RED** the drawing must be reprinted.



1 Planning - Parson's Court Stair Plan
1:25



2 Planning - Parson's Court Stair Long Section
1:25



3 Planning - Parson's Court Stair Short Section
1:25

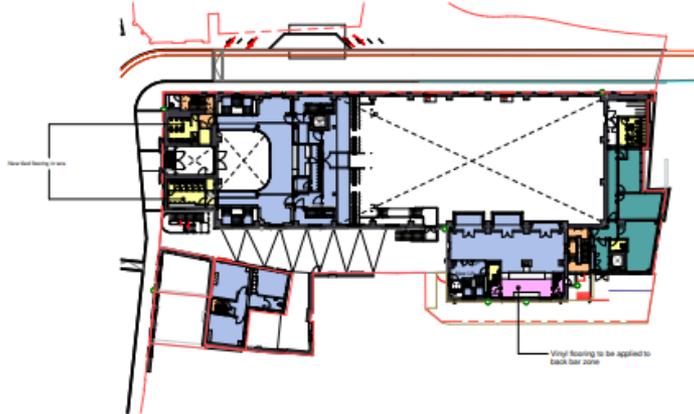
Page 96

Proposed Floor Finishes

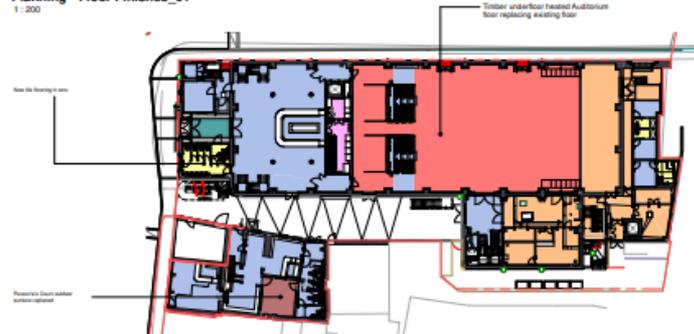
Floor Finishes Key:

- New Vinyl Flooring
- New Timber Flooring
- New Back Bar Flooring
- New Epoxy Flooring
- New Tiled floor finish
- Paving slabs replaced
- New carpet
- Retained Timber Floor
- Concrete Pavers
- Red Line Boundary

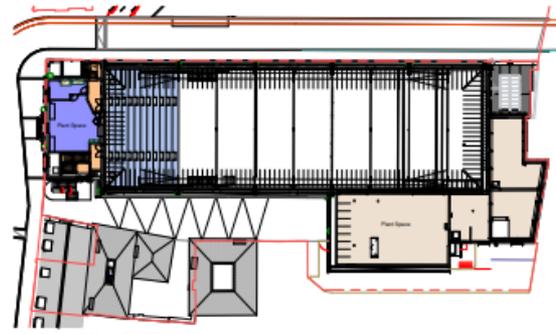
Allow for 75% of timber boarding retained, the rest replaced



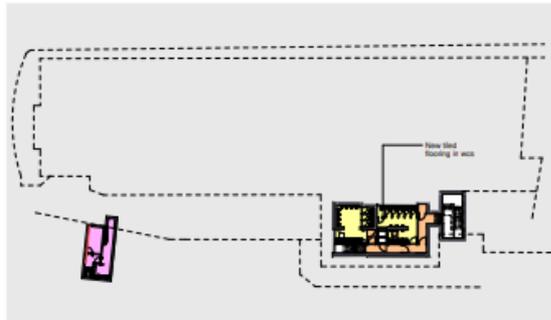
Planning - Floor Finishes_01
1:200



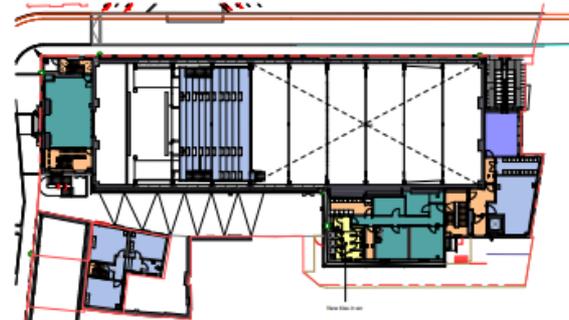
Planning - Floor Finishes_00
1:200



Planning - Floor Finishes_03
1:200



Planning - Floor Finishes_B1
1:200



Planning - Floor Finishes_02
1:200

25/04386/FUL Planning Balance

Approval

Material considerations

- 61-71% reduction in energy use;
- Minor uplift in standing capacity;
- Additional step free door



Refusal

Material considerations

- Low level of 'less than substantial harm to the Listed Buildings and Conservation Area

Officer Recommendation: **Approval** subject to conditions

25/04387/LBC Planning Balance

Approval

Material considerations

- 61-71% reduction in energy use;
- Minor uplift in standing capacity;
- Improved accessibility;
- Secure long terms use as a concert venue.



Refusal

Material considerations

- Low level of 'less than substantial harm to the Listed Buildings

Officer Recommendation: **Approval** subject to conditions